

The GREEN Home

Proposed Ancillary Accommodation & Pool at
24 HAMILTON STREET, EAST FREMANTLE

| No. | PAGE NAME | SUPERVISOR & TRADE NOTES | |
|-----|---------------------------------|---|---|
| 0 | CONTENTS PAGE | OCCUPATIONAL HEALTH & SAFETY • ALL PERSONS ENTERING THE WORK SITE MUST OBEY THE CURRENT OCCUPATIONAL HEALTH & SAFETY LEGISLATION APPLICABLE TO WESTERN AUSTRALIA AT ALL TIMES | ROOF PLUMBER NOTE • SLOTTED GUTTERS TO BE INSTALLED (EXCEPT TO BOUNDARY WALLS) • FINAL No & POSITION OF RWP _s IS TO ROOF PLUMBERS DISCRETION • MUST COMPLY WITH BCA 3.5.2 • PRELAY PLUMBING TO PIERS WHERE SHOWN ON PLANS |
| 1 | EXISTING SITE / DEMOLITION PLAN | SITE NOTES • CLASS 'TBA' SITE - REFER TO SOIL REPORT • WIND RATING: 'TBA' - REFER TO SOIL REPORT • BAL RATING: N/A - REFER TO BUSHFIRE CONSTRUCTION REQUIREMENTS • CORROSION CLASSIFICATION: 'TBA' - REFER TO SOIL REPORT • FINISHED FLOOR LEVEL MAY VARY +/- 100mm | ROOF CARPENTER NOTE • MANHOLE TO BE TRIMMED OUT TO 605 x 605 • ALL EXTERNAL FIXING NAILS MUST BE GALVANIZED AS PER AUSTRALIAN STANDARDS • BARGE BOARD NAILING TO BE COUNTERSUNK • BOX OUT 450 x 450 FOR RANGEHOOD FLUME • REFER TO SE DRAWINGS FOR ROOF TIE DOWN REQUIREMENTS |
| 2 | SITE PLAN | GENERAL • ALL STRUCTURAL BEAMS TO BE IN ACCORDANCE WITH BCA REQUIREMENTS • REFER STRUCTURAL ENGINEER'S DETAILS | FIXING CARPENTER NOTE • TOWEL RAILS TO BE FIXED 1000 ABOVE FFL UNO • TOILET ROLL HOLDERS TO BE FIXED 650 AFL UNO • 4 x 450 DEEP SHELVES TO LINEN UNLESS NOTED OTHERWISE • 12mm QUAD TO ALL TIMBER FRAMED DOORS • INTERNAL DOOR THRESHOLD CLEARANCE TO BE 25mm |
| 3 | FLOOR PLAN | CONCRETOR NOTE • ALL CONCRETE FOOTINGS AND SLABS TO BE WELL COMPACTED BY MEANS OF IMMERSIVE TYPE VIBRATORS • PRELAY PLUMBING FOR RWP TO PIER WHERE SHOWN ON PLANS • BOUNDARY WALL & ALL ISOLATED PIERS, FOOTINGS @-3c. | INSULATION NOTE • R4.0 BATTS TO ALL PLASTERBOARD CEILINGS & GARAGE CEILING EXPOSED TO ROOF SPACE. (UNLESS NOTED OTHERWISE) • INSULATION MUST BE INSTALLED IN COMPLIANCE WITH BCA 3.12.1.1 • SISALATION TO UNDERSIDE OF ROOF SHEETS |
| 4 | SECTION & DETAILS | PLUMBERS NOTE • HOBLESS SHOWER- REFLUX VALVE REQUIRED TO SEWER JUNCTION • PRELAY STORMWATER PIPE TO BOUNDARY WALLS & PLANTER BOX | WATERPROOFING NOTE • WATERPROOFING TO AS 3740-2010 |
| 5 | ELECTRICAL PLAN | BRICK LAYER NOTE • REFER TO STRUCTURAL ENGINEER'S DRAWINGS FOR ROOF TIE DOWN REQUIREMENTS • BRICK PIERS TO HAVE 10mm ROD COGGED FROM FOOTING TO TOP OF PIER. • EXTERNAL 2c FACE BRICKWORK TO BE LAID 1/3 BOND • EXTERNAL 1c FACE BRICKWORK TO BE LAID 1/2 BOND • LEAVE 1c BRICKWORK INTERNALLY BELOW KITCHEN WINDOW TO ALLOW FOR BENCHTOP • BOUNDARY WALL & ALL ISOLATED PIERS, FOOTINGS @-3c. KICK OFF WITH LONGREACH. UNLESS NOTED OTHERWISE • 3c LONGREACH INTERNALLY OVER EXTERNAL WINDOWS & DOORS • BRICK UP NIBS TO SHOWERS AS REQUIRED • ENSURE NEAT MORTAR INTERNALLY TO ALL A/C DUCTS, AVOIDING DAGS | TERMITE MANAGEMENT • TERMITE MANAGEMENT WILL CARRIED OUT IN ACCORDANCE WITH PART 3.1.3.2 OF THE NCC - BUILDING CODE OF AUSTRALIA AND AS3660.1:2014. |
| | | | DIMENSIONS • ALL DIMENSIONS TAKE PREFERENCE OVER SCALE (REFER ANY QUERIES TO DRAWING OFFICE FOR RESOLUTION PRIOR TO CONTINUING) |
| | | | CLIENT NOTE • DIMENSIONS ARE TAKEN FROM UNFINISHED BRICKWORK / FRAMING. ALLOW AN EXTRA 12mm TO EACH SIDE OF WALLS FOR PLASTER & A FURTHER 10 TO 15mm FOR TILED WALLS. THIS ALLOWANCE SHOULD BE CONSIDERED WHEN CALCULATING CLEARANCES FOR FUTURE FITTINGS |

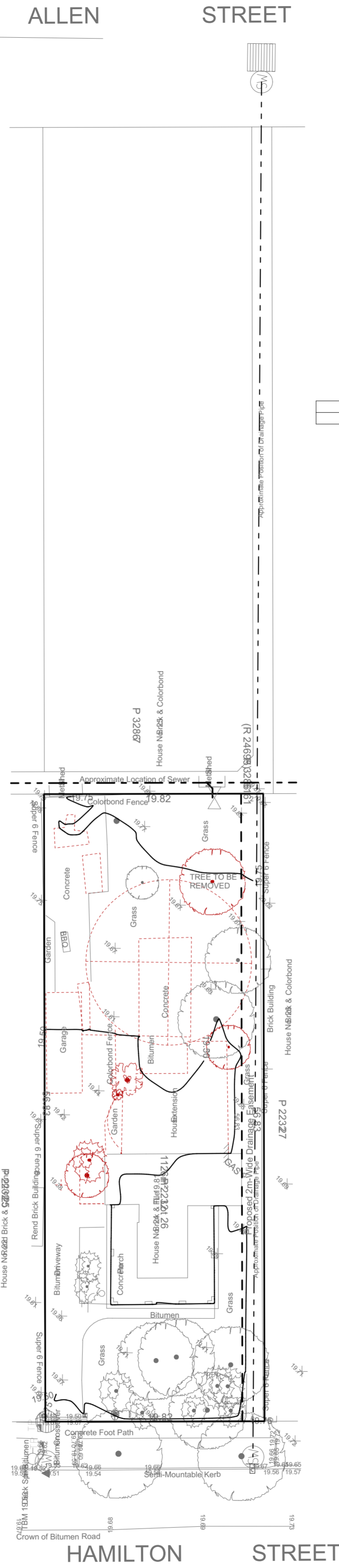


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|------------------|------------------------|---|------------------------------------|------------------|----------------|--|------|----------|-------------|---------------|----|-----|------|-------|-------------|----|----|
| PERMIT AUTHORITY | TOWN OF EAST FREMANTLE | DRAWING | 24 HAMILTON STREET, EAST FREMANTLE | CONTENTS PAGE | A3 | REV | DATE | SHEET | DESCRIPTION | DR | CH | REV | DATE | SHEET | DESCRIPTION | DR | CH |
| | CLIENT | | GREEN | | JOB NO: GRE086 | SCALE | 0 | 18/03/24 | all | ISSUE FOR CDC | SH | CW | | | | | |
| | | | | DWG NO: GRE086.0 | REV NO: 0 | <p>DISCLAIMER: PLEASE NOTE THAT WHILE DUE CARE WAS TAKEN IN PREPARING THIS SET OF PLANS AND ELEVATIONS, ANY CONSTRUCTION WORK, ALTERATIONS OR RENOVATIONS SHOULD BE RE-CHECKED BEFORE COMMENCING ANY WORK TO ENSURE ACCURACY. DISCREPANCIES SHOULD BE RESOLVED IMMEDIATELY.</p> | | | | | | | | | | | |
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SCALE - 1:300 @A2
 LOCAL AUTHORITY:
 Town of East Fremantle
 Residential Coding: R12.5



| HARDSURFACE | |
|------------------------|--|
| Area (m ²) | |
| | |

PROPOSED RESIDENCE FOR:
 GREEN
 SITE ADDRESS:
 24 HAMILTON STREET, EAST FREMANTLE
 DATE: 14/03/24
 JOB NO: GRE086
 REVISION NO: 0
 ZONING: R12.5
 DRAWN BY: CW
 PLANNING APPL: YES
 LOCAL AUTHORITY: TOWN OF EAST FREMANTLE

THIS PLAN IS ACCURATE AT TIME OF SURVEY. HORIZON SURVEYS ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF ANY INFORMATION ADDED.

AREA AND DIMENSIONS SUBJECT TO SURVEY. DIMENSIONS AS PER CERTIFICATE OF TITLE OR SURVEY PLAN. ALL CADASTRAL INFORMATION SHOWN

HORIZON SURVEYS
 UNIT 2, 14 JERSEY STREET, JOLIMONT WA 6014
 PH 9387 8226 Mob 0407 080 073
 Email admin@horizonsurveys.com.au

TOWN OF EAST FREMANTLE
FEATURE SURVEY
24 HAMILTON STREET, EAST FREMANTLE
 (LOT 26 on PLAN 2232)

| REV | DETAILS | BY | DATE | SURVEYED | DATE | HORIZONTAL DATUM |
|-----|---------|------|--------|----------|-------------|--------------------------------------|
| 1 | DET 1 | BY 1 | DDMMYY | ABS/IMF | 17/03/2021 | PCGS94 (ex SSM FRE44) |
| 2 | DET 2 | BY 2 | DDMMYY | COMPUTED | 17/03/2021 | VERTICAL DATUM AHD (ex SSM FRE44) |
| 3 | DET 3 | BY 3 | DDMMYY | DRAWN | 23/03/2021 | FIELD NOTES HS 605 IRTK |
| | | | | | DRAWING No. | 210039 |
| | | | | | JOB NUM | 210039 |



LEGEND

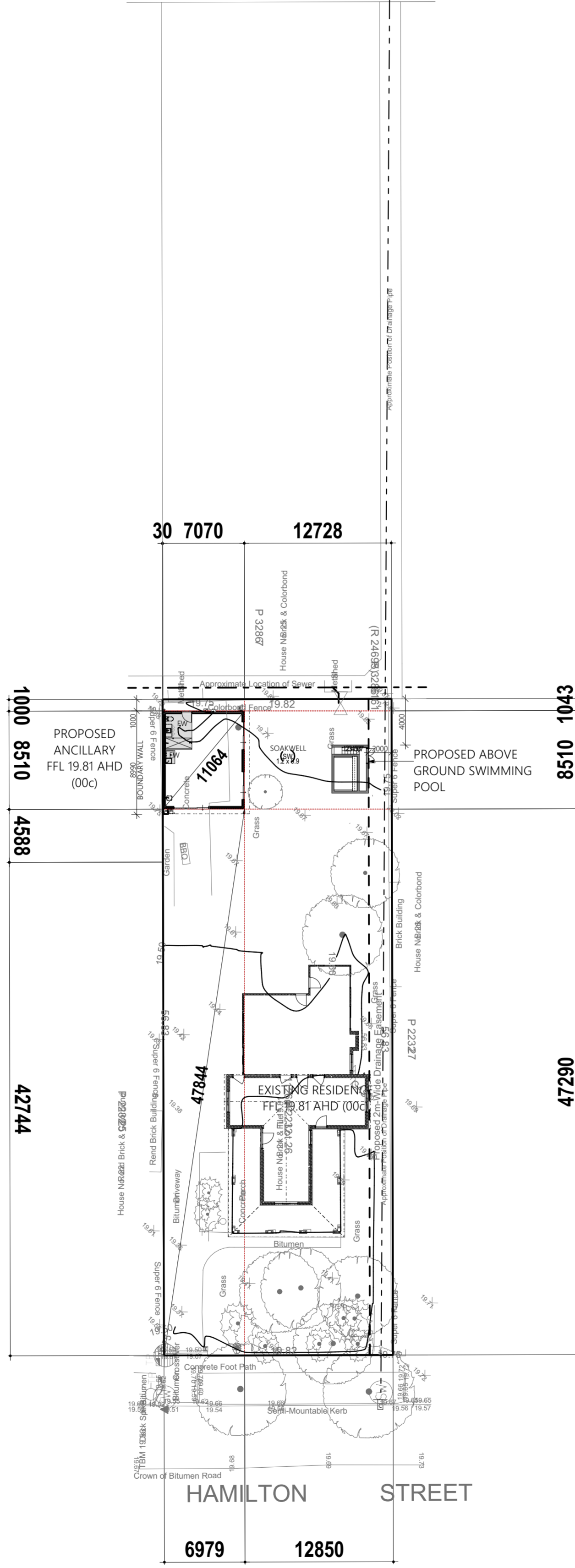
- Gas Meter
- Power Pole
- Light Pole
- Power Dome
- Telecom Pit
- Clothes Hoist
- Sewer Vent
- Sewer Manhole
- Gully Trap
- Water Meter
- Water Bore
- Tree

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LOCAL AUTHORITY:
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Residential Coding: R12.5

ALLEN STREET



SOAKWELL CALCULATIONS

| Soak Well Type | No. | Capacity (m³) |
|--|-----|---------------|
| SW 1200x900 | 1 | 1.0 |
| Total Capacity | | 1.0 |
| Roof Area GF | | 66.0 |
| Total Area | | 66.0 |
| Capacity Required (Area x 0.0125) | | 0.8 |
| Extra Capacity Provided | | 0.2 |

NOTE: ALL DOWNPIPES CONNECTED TO SOAKWELLS WITH PVC STORMWATER PIPE

PROPOSED RESIDENCE FOR:
GREEN
SITE ADDRESS:
24 HAMILTON STREET, EAST FREMANTLE
DATE: 14/03/24
JOB NO: GRE086
REVISION NO: 0
ZONING: R12.5
DRAWN BY: CW
PLANNING APPL: YES
LOCAL AUTHORITY: TOWN OF EAST FREMANTLE



LEGEND

- Gas Meter
- Power Pole
- Light Pole
- Power Dome
- Telecom Pit
- Clothes Hoist
- Sewer Vent
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- Water Meter
- Water Bore
- Tree

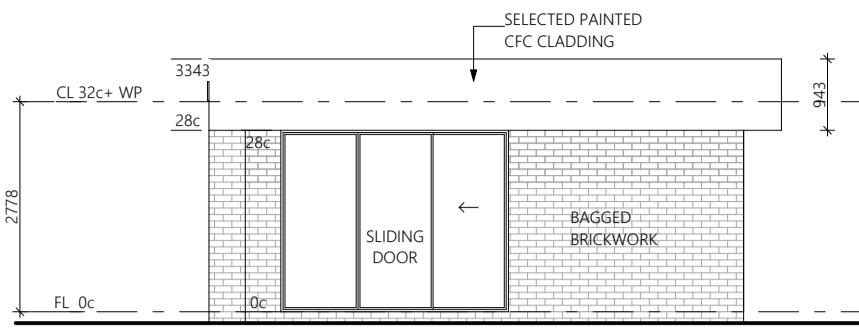
| REV | DETAILS | BY | DATE | SURVEYED | DATE | HORIZONTAL DATUM |
|-----|---------|------|------------|----------|------------|----------------------|
| 1 | DET 1 | BY 1 | 17/03/2021 | ABS/MF | 17/03/2021 | PCG94 (ex SSM FRE44) |
| 2 | DET 2 | BY 2 | 17/03/2021 | COMPUTED | 17/03/2021 | VERTICAL DATUM |
| 3 | DET 3 | BY 3 | 29/03/2021 | ABS | 29/03/2021 | AHD (ex SSM FRE44) |
| | | | | DRAWN | | FIELD NOTES |
| | | | | ABS/SDS | | HS 605 RTK |
| | | | | JOB NUM | | DRAWING No. |
| | | | | 210039 | | 210039_FS_V1 |

TOWN OF EAST FREMANTLE
FEATURE SURVEY
24 HAMILTON STREET, EAST FREMANTLE
(LOT 26 on PLAN 2232)

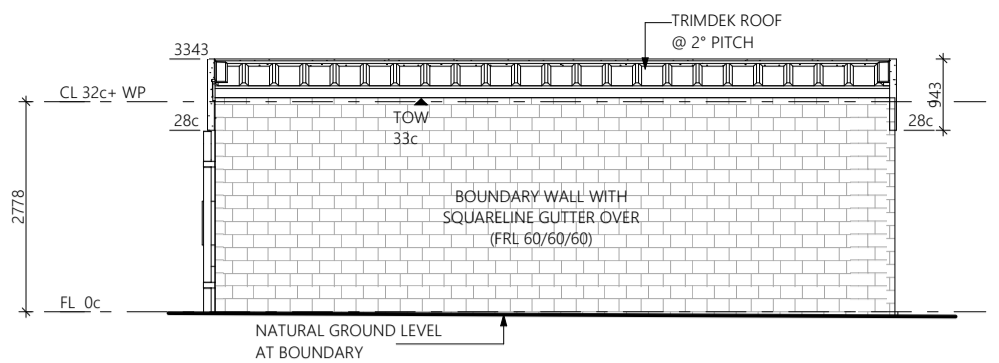
HORIZON SURVEYS
UNIT 2, 14 JERSEY STREET, JOLIMONT WA 6014
PH 9387 8226 Mob 0407 080 073
Email admin@horizonsurveys.com.au

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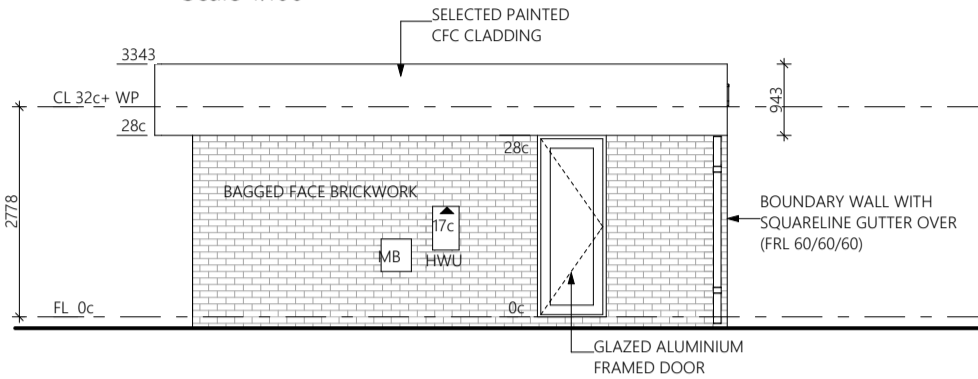
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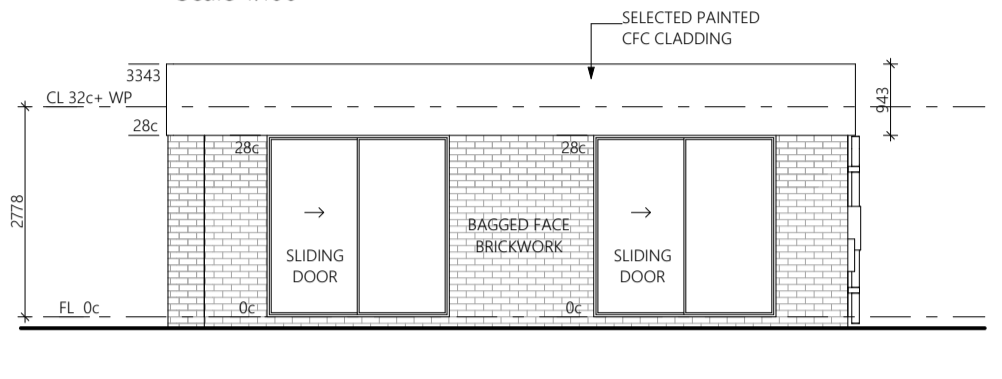
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Scale 1:100



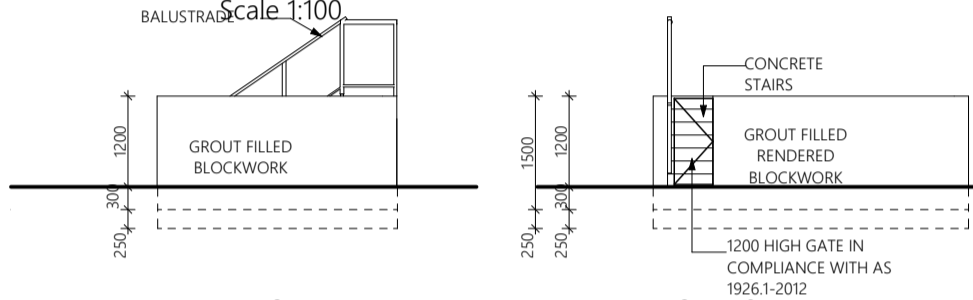
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Scale 1:100



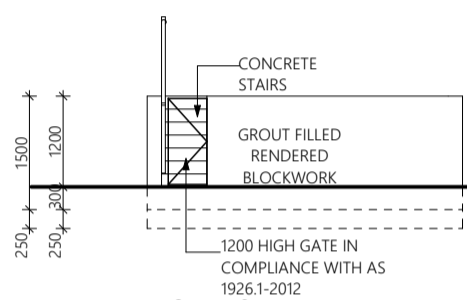
ELEVATION 3
Scale 1:100



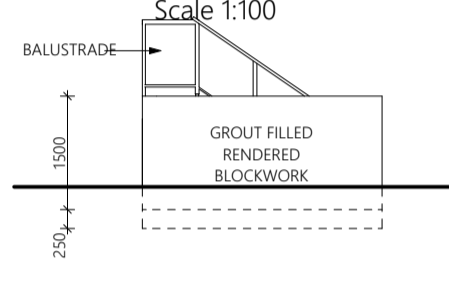
ELEVATION 4
Scale 1:100



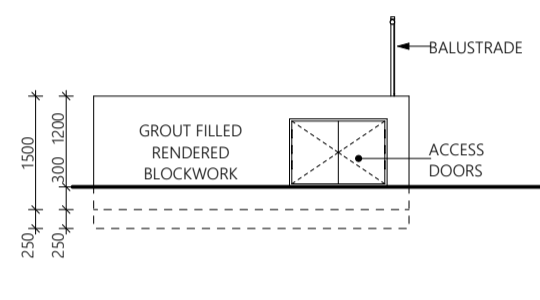
ELEVATION 5
Scale 1:100



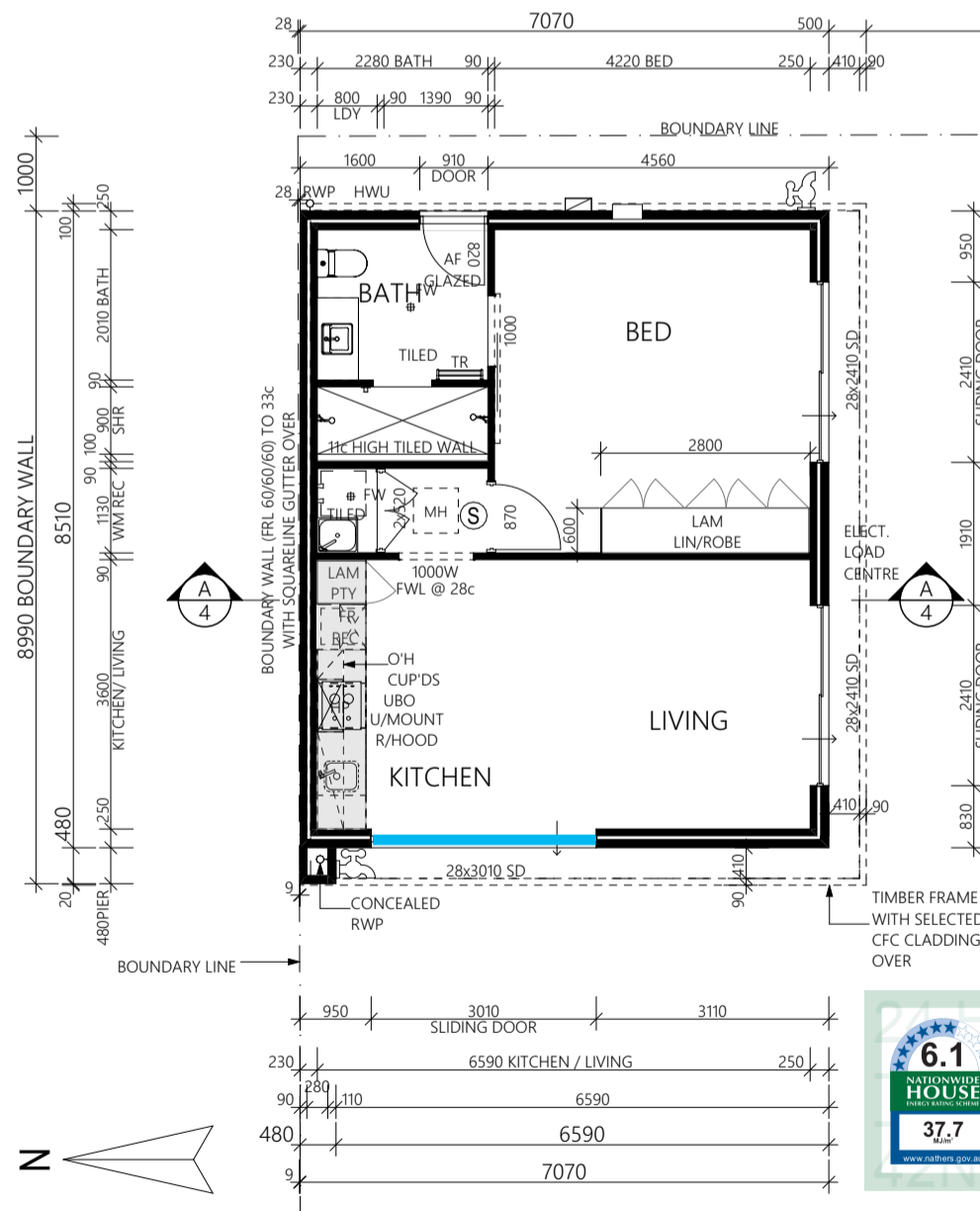
ELEVATION 6
Scale 1:100



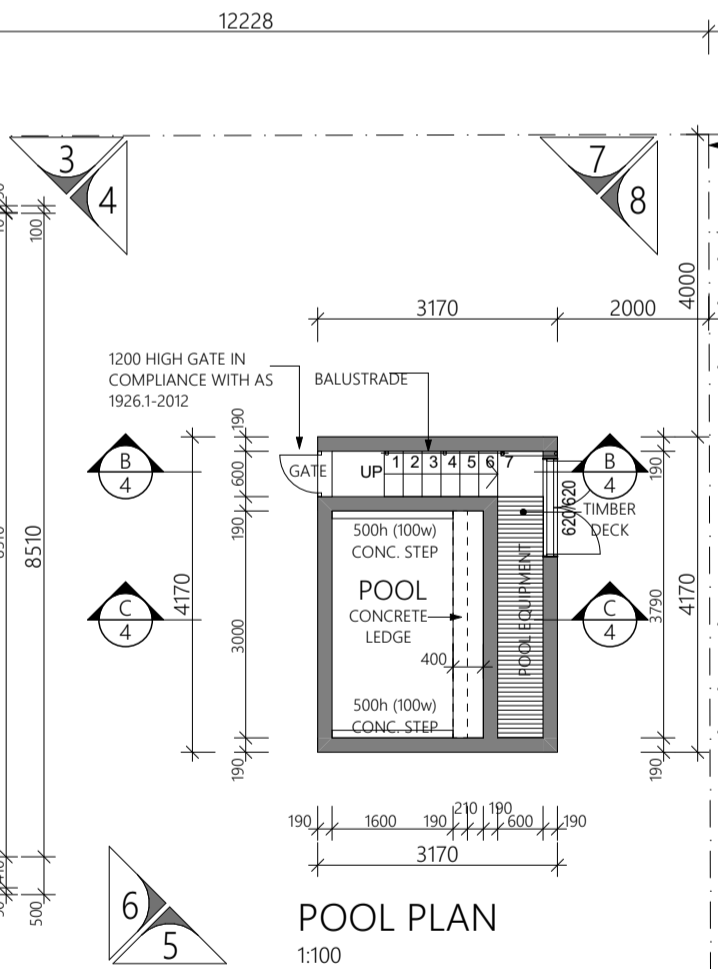
ELEVATION 7
Scale 1:100



ELEVATION 8
Scale 1:100



ANCILLARY ACCOMMODATION FLOOR PLAN
1:100



POOL PLAN
1:100

GENERAL NOTES:

- FINAL HOUSE POSITION IS SUBJECT TO COUNCIL APPROVAL
- FINAL DESIGN IS SUBJECT TO COMPLIANCE WITH BCA ENERGY EFFICIENCY REQUIREMENTS
- SMOKE ALARM DEVICES SHALL BE INSTALLED TO: COMPLY WITH AS3786-2014SMOKE ALARMS USING SCATTERED LIGHT, TRANSMITTED LIGHT OR IONISATION - INTER-CONNECTED AND CONNECTED (HARDWIRED) TO THE CONSUMER MAINS AND HAVE A STANDBY POWER SUPPLY
- LOCATION OF THE SMOKE ALARM DEVICES SHALL BE SHOWN ON THE PLAN
- ALL EXHAUST FLUMES / VENTS TO BE EXHAUSTED TO THE EXTERNAL AIR.
- REFER TO STRUCTURAL ENGINEERS DRAWINGS FOR STRUCTURAL DETAILS & LAYOUT
- FINAL LOCATION OF BEAMS / COLUMNS / ROOF MEMBERS, REFER TO ENG. DRW'S.
- SC - DENOTES STRUCTURAL COLUMN
- PWP - DENOTES PERTH WIND POST
- DP - DENOTES SHS DROPPER/ SHS
- RWP - RAIN WATER PIPE
- FW - FLOOR WASTE
- HWU - HOT WATER UNIT
- REFER ENGINEER'S DETAILS



ENERGY EFFICIENCY NOTES

- R4.1 INSULATION TO CEILINGS.
- R0.15 FOIL FACED INSULATION TO EXTERNAL BRICK CAVITY WALLS.
- STANDARD SINGLE GLAZING IN STANDARD ALUMINIUM FRAMES TO OPENINGS.
- LOW-E SINGLE GLAZING TO OPENINGS HIGHLIGHTED IN BLUE.

| AREAS | AREA (m ²) | PERIM (m) |
|----------------------|------------------------|----------------------|
| ANCILLARY ROOF AREAS | 60.17 | 31.16 |
| ROOF | 65.47 | 65.47 m ² |

| | | | | | |
|------------------|------------------------------------|---------|------------|---------|-------|
| PROPOSED | 24 HAMILTON STREET, EAST FREMANTLE | DRAWING | FLOOR PLAN | A3 | |
| CLIENT | GREEN | JOB NO: | GRE086 | SCALE | 1:100 |
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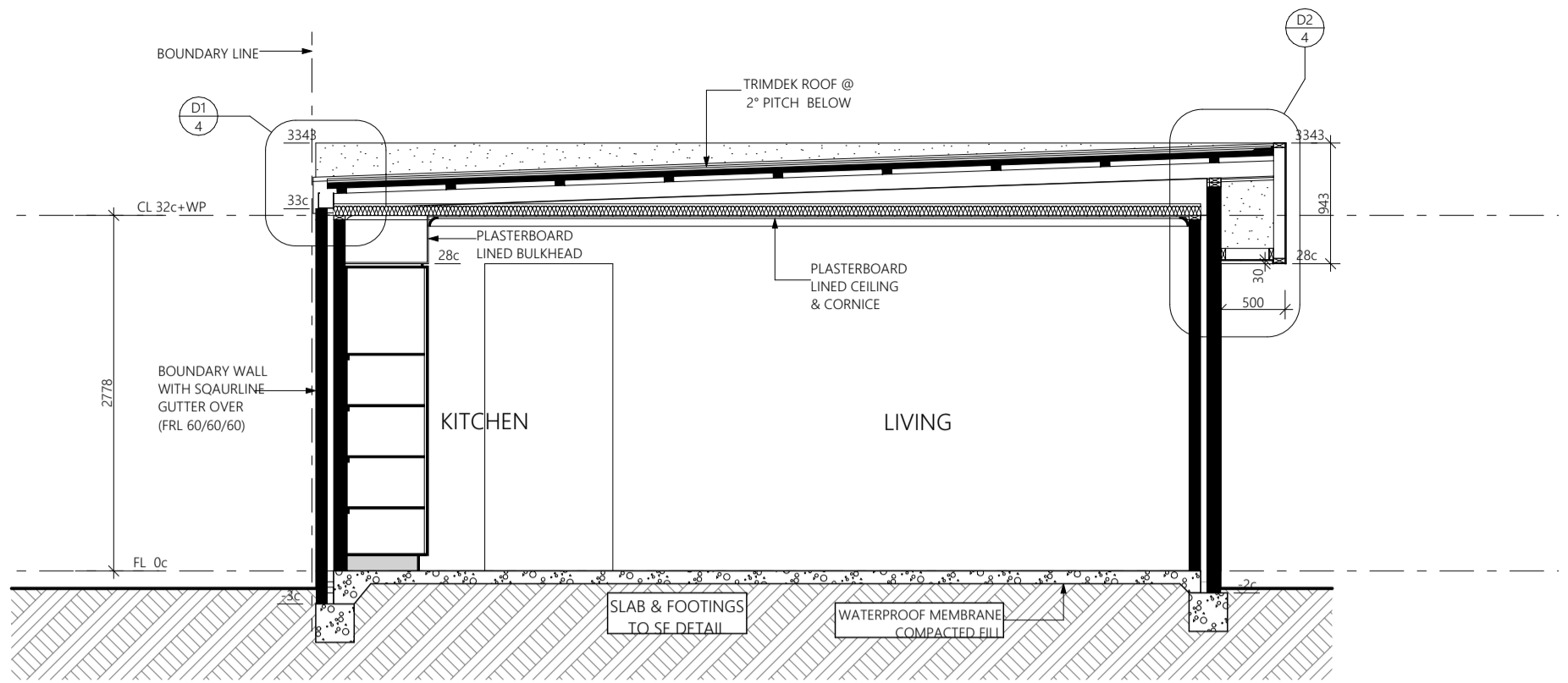
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|-----|----------|-------|---------------|----|----|
| 0 | 18/03/24 | all | ISSUE FOR CDC | SH | CW |

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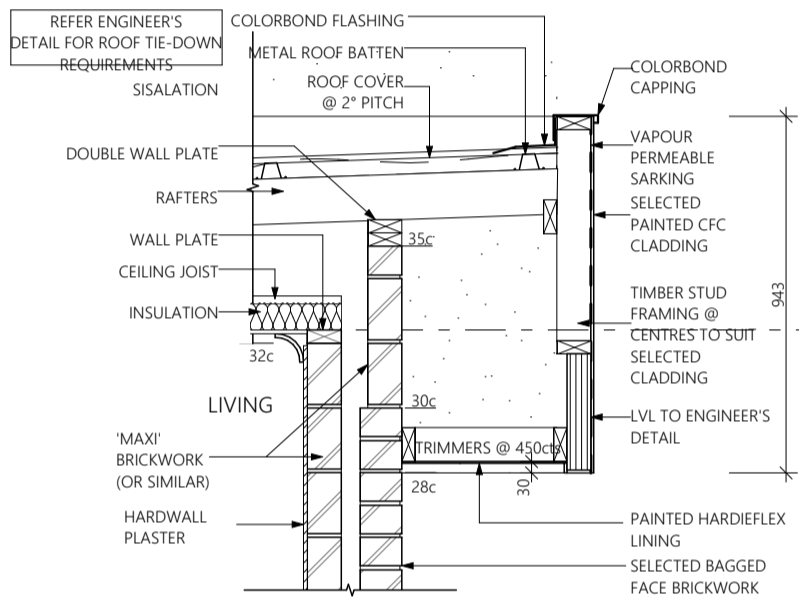
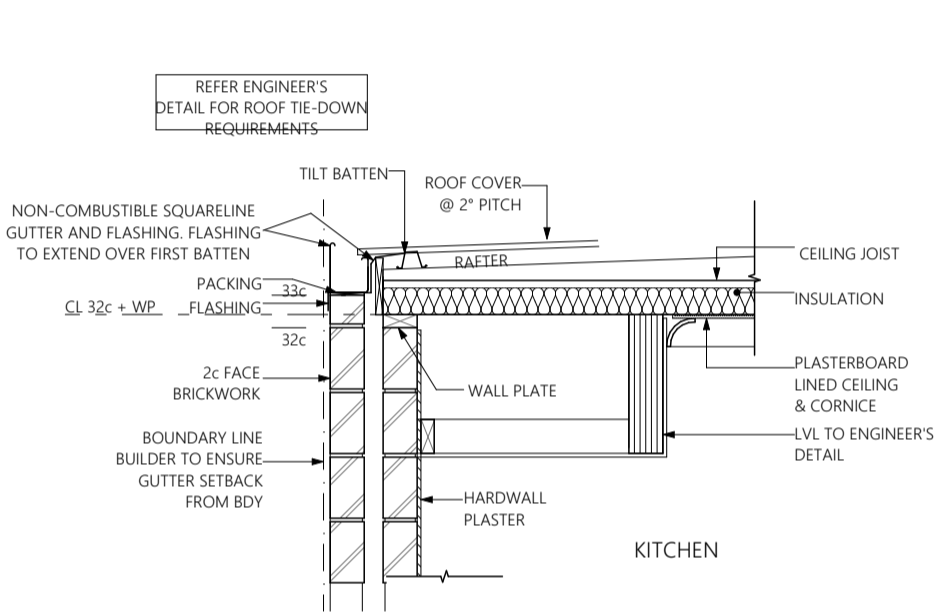
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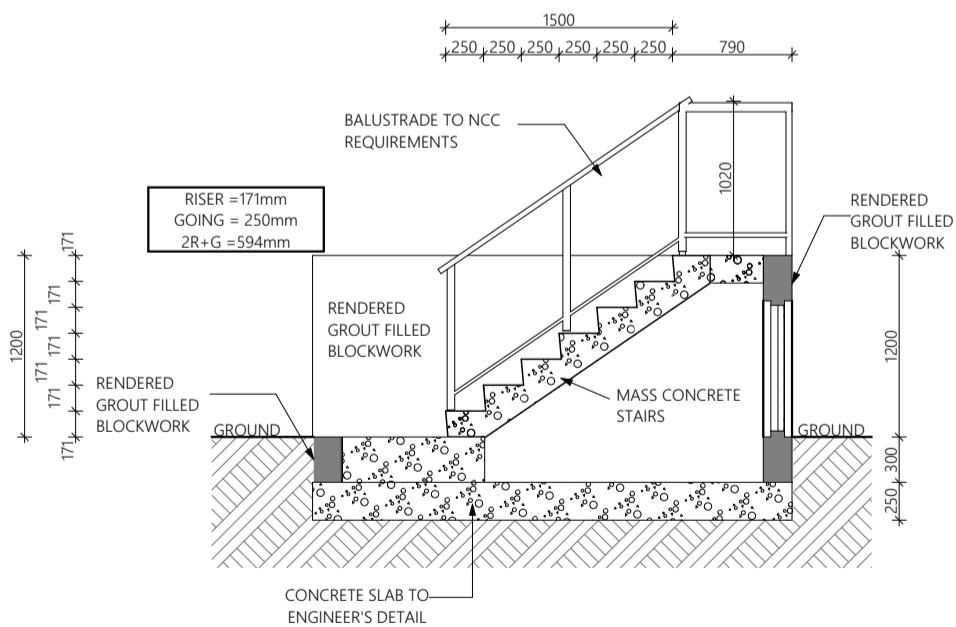


A SECTION A
3 1:50

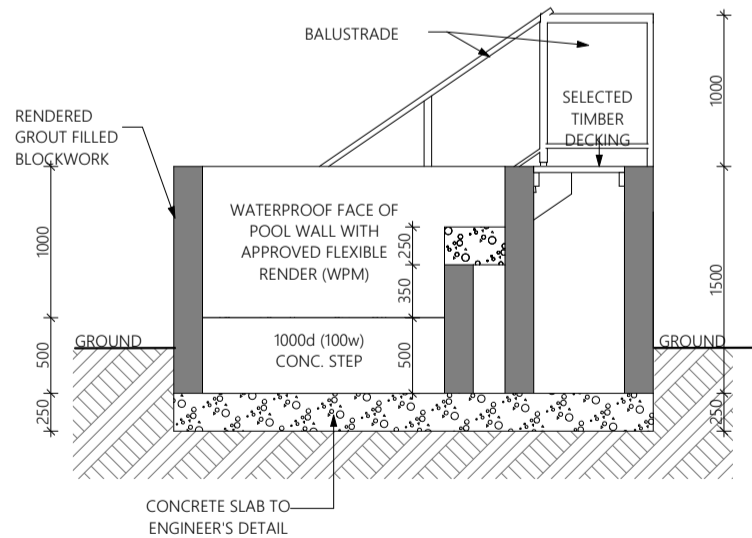


D1 BOUNDARY WALL DETAIL
4 1:20

D2 FASCIA FRAME DETAIL
4 1:20



B SECTION B
3 1:50



C SECTION C
3 1:50



| | | | | |
|---|------------------------------------|---------|-------------------|-------------------|
| PROPOSED | 24 HAMILTON STREET, EAST FREMANTLE | DRAWING | SECTION & DETAILS | A3 |
| CLIENT | GREEN | JOB NO: | GRE086 | SCALE: 1:20, 1:50 |
| PERMIT AUTHORITY | TOWN OF EAST FREMANTLE | DWG NO: | GRE086.4 | REV NO: 0 |
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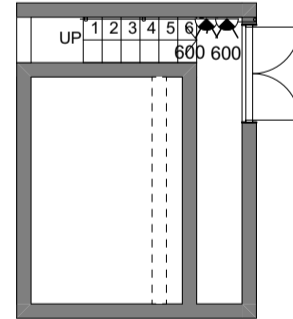
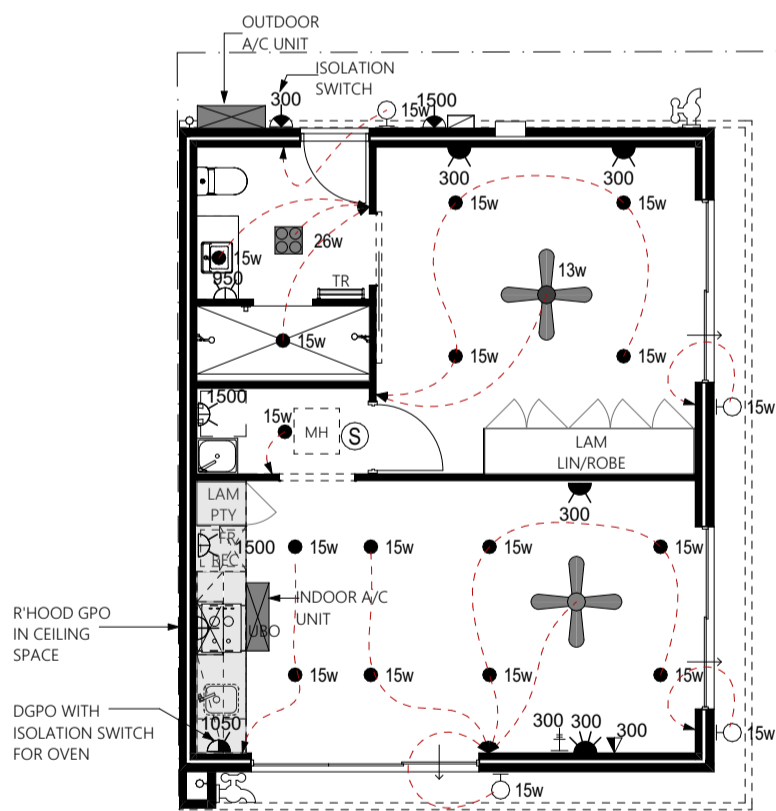
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CW CLAIRE WEBSTER design

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Salter Point WA 6152
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Ⓢ SMOKE ALARM DEVICE/S SHALL BE INSTALLED TO:
 COMPLY WITH AS3786-2014 SMOKE ALARMS USING SCATTERED LIGHT, TRANSMITTED LIGHT OR IONISATION - INTER-CONNECTED AND CONNECTED (HARDWIRED) TO THE CONSUMER MAINS AND HAVE A STAND-BY POWER SUPPLY

| GROUND FLOOR ELECTRICAL LEGEND | | | |
|--|--------|-----|---------|
| Description | Symbol | No. | Wattage |
| QUAD GPO 300 ABOVE FLOOR LEVEL | | 1 | --- |
| DOUBLE GPO 300 ABOVE FLOOR LEVEL | | 3 | --- |
| Data Point | | 1 | --- |
| DOUBLE GPO AT NOMINATED HEIGHT | | 3 | --- |
| DOUBLE GPO 1050 ABOVE FLOOR LEVEL | | 1 | --- |
| SINGLE WEATHERPROOF GPO AT NOMINATED ... | | 2 | --- |
| TV Aerial Point | | 1 | --- |
| SINGLE GPO AT NOMINATED HEIGHT | | 1 | --- |
| DOUBLE WEATHERPROOF GPO AT NOMINATED... | | 2 | --- |
| --- | | 1 | --- |
| Ceiling Fan | | 1 | 0 |
| H.WIRED SMOKE DETECTOR | | 1 | 0 |
| Indoor Air Conditioning Unit | | 2 | 0 |
| Ceiling Fan/Light (13w) | | 1 | 13 |
| RECESSED LED DOWN-LIGHT (15w) | | 15 | 15 |
| WALL LIGHT @ 1800 AFL | | 4 | 15 |
| 4x Fan/Light/Heater (26w) | | 1 | 26 |
| | | | 324 |



ANCILLARY ACCOMMODATION & POOL ELECTRICAL PLAN
 Scale 1:100

ARTIFICIAL LIGHTING AROUND THE PERIMETER OF THE BUILDING TO HAVE AN AVERAGE LIGHT SOURCE EFFICACY > OR = TO 40 LUMENS / WATT

| | | | | | |
|---|------------------------------------|---------|-----------------|---------|-------|
| PROPOSED | 24 HAMILTON STREET, EAST FREMANTLE | DRAWING | ELECTRICAL PLAN | A3 | |
| CLIENT | GREEN | JOB NO: | GRE086 | SCALE | 1:100 |
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