

SITE CLASSIFICATION - CLASS 'A'
(REFER TO SITE REPORT FOR
DETAILS) WIND LOAD - N1
CORROSION CLASSIFICATION - R3

BRICK NOTE

- 2c FACE BRICK TO BE LAID IN THIRD BOND U.N.O

ROOF NOTE

COLORBOND ROOF, PITCH AT 25° W/- 500W EAVES UNO
STEEL ROOF FRAME TO NASH STANDARDS
CEILINGS AT 30c+ PLATE UNLESS NOTED OTHERWISE

ROOF PLUMBER NOTE

PROVIDE SLOTTED GUTTERS (EXC. GUTTER ON WALLS)
FINAL POSITIONS OF RWP'S TO BE DETERMINED ON SITE
RWP'S IN PORCH TO BE STRAIGHT CONNECTION TO STORMWATER
SYSTEM (NO KICK)

ROOF INSULATION NOTE

R4.0 CEILING INSULATION TO HOUSE, GARAGE & ANY EXTERNAL
PLASTERBOARD OR VERSILUX CEILINGS IF APPL.
R2.5 CEILING INSULATION TO RAKING CEILINGS

DO NOT SCALE FROM THIS DRAWING
All Sub-contractors to check dimensions
& notes prior to initiating works. Any
discrepancies to be notified to the Site
Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.

PLASTERBOARD NOTE

- PROVIDE PLASTERBOARD TO ALL INTERNAL WALLS UNLESS NOTED
OTHERWISE

GARAGE NOTE

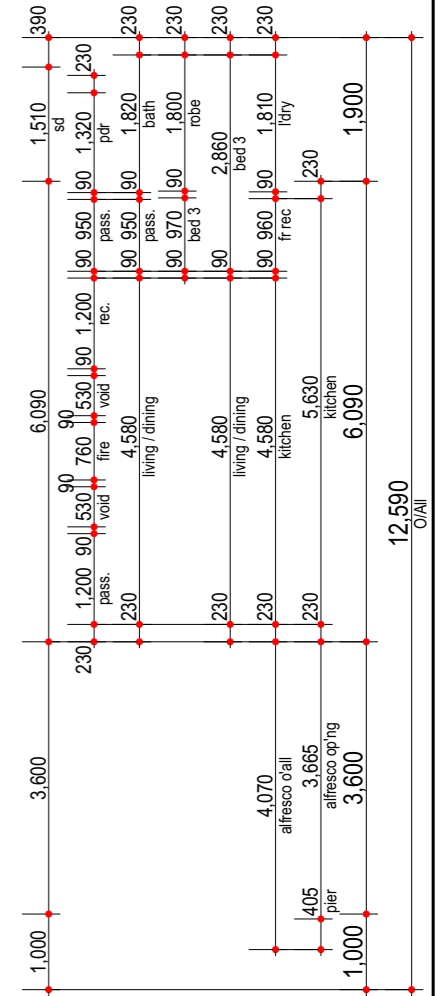
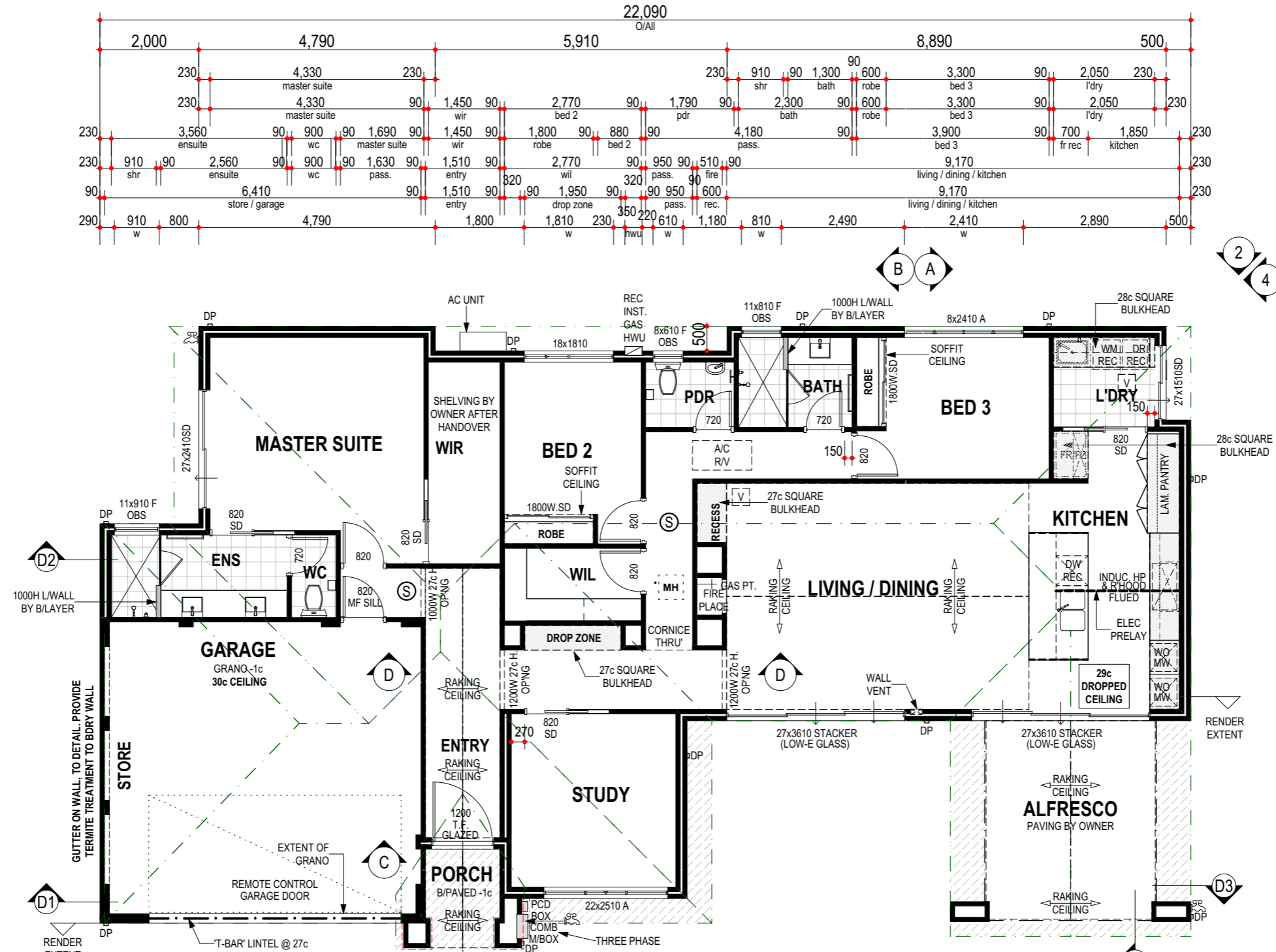
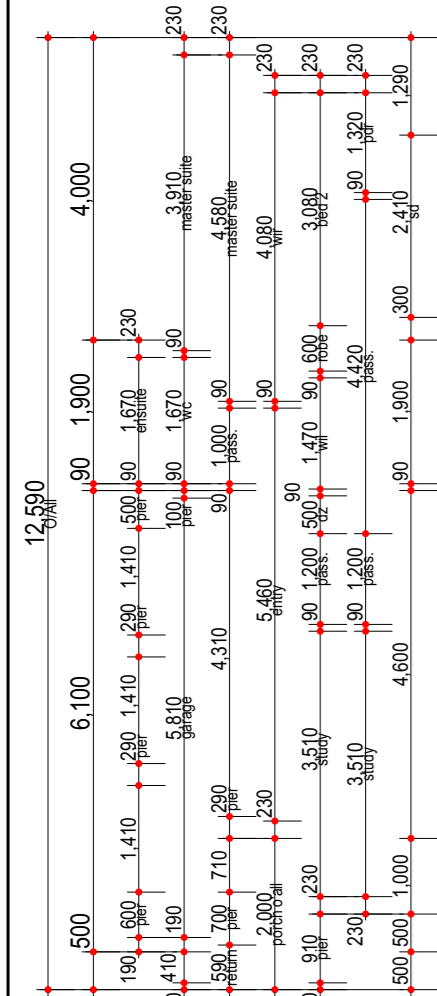
- SINGLE LEAF WALL TO GARAGE IS NOT WATERPROOF
- FALL GARAGE SLAB 20mm TOWARDS MAIN GARAGE OP'NG

RENDER WALL NOTE

- PROVIDE 28mm SCOTIA TO JUNCTIONS OF RENDERED WALLS & H/FLEX/
VERSILUX CEILINGS

TRADES / SUPERVISOR NOTE

- REFER TO STRUCTURAL ENGINEERS DETAILS
- ALL PLANS TO BE READ IN CONJUNCTION WITH ENGINEERS DRAWINGS
& STANDARD SPECIFICATION.



FIXING CARPENTER NOTE

- 4 No. 450D SHELVES TO PANTRY AND LINEN UNO
- 450D SHELF & RAIL TO ALL WIR, ROBE & ROBE REC. UNO
- 450D SHELF AT 1700 AFL TO BROOM CUPBOARD, IF ANY

CEILING MATERIAL NOTE

- PORCH (INC. AREAS SHOWN HATCHED) - VERSILUX C.L.
- GARAGE - HARDIFLEX C.L.
- ALFRESCO - PLASTERBOARD C.L.

AIRCON NOTE

- PROVIDE REVERSE CYCLE AIR CONDITIONING. OUTLET POSITIONS TO BE
NOMINATED BY SUPPLIER.
- EXTERNAL UNIT NOT TO BE VISIBLE FROM THE STREET.

PLUMBER NOTE

- NO HOBS TO SHOWERS UNLESS SHOWN OTHERWISE.
- PLUMBER TO INSTALL REFLUX VALVE.

DOOR NOTE

- TOILET DOOR TO COMPLY W/- CLAUSE 3.8.3.3 OF THE B.C.A VOL. 2

ELECTRICAL NOTE

- INTERCONNECTED SMOKE DETECTORS TO COMPLY WITH AS3786-2014 AS
INDICATED ON PLAN

DO NOT SCALE FROM THIS DRAWING
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& notes prior to initiating works.
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Site Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.

BUILDER: _____
CLIENT(S): _____
WITNESS: _____

PROPOSED RESIDENCE FOR:
MORSE

ADDRESS:
**SSL2 (#4) SALVADO AVE
EAST FREMANTLE**

BUILT AROUND PEOPLE

DRAWN: AGR
DESIGNED: TRI
CHECKED: PMI
DATE: 20/11/19
MODEL: ONE-OFF

SCALE: 1:100
SHEET: 1 OF 9
SIZE: A3
ONE-OFF
JOB N° 158558

Issue Name	Drawn	Date	Issue Name	Drawn	Date
AMENDMEN T	AGR	21.04.20			
V002	AGR	29.07.20			

FLOOR PLAN

CONCRETOR/BRK LAYER NOTE

- NOTE BRICK WALL ON LOT/STRATA BOUNDARY
HAS BEEN CALCULATED TO BE SET INSIDE THE
BOUNDARY BY #mm.
- NOTE BRICKWALL ON STRATA BOUNDARY HAS
BEEN CALCULATED TO BE SET ON BOUNDARY.
- ALL ISOLATED PIERS AND POSTS TO HAVE
FOOTINGS AT -3c UNLESS NOTED OTHERWISE.

	Area m ²	Perim. L/m
1. FLOOR PLAN	169.40	68.36
2. GARAGE	39.79	25.38
3. PORCH	3.68	8.78
4. ALFRESCO	19.82	17.88
5. TOTAL AREA	232.68	78.50
6. ROOF	244.02	78.52



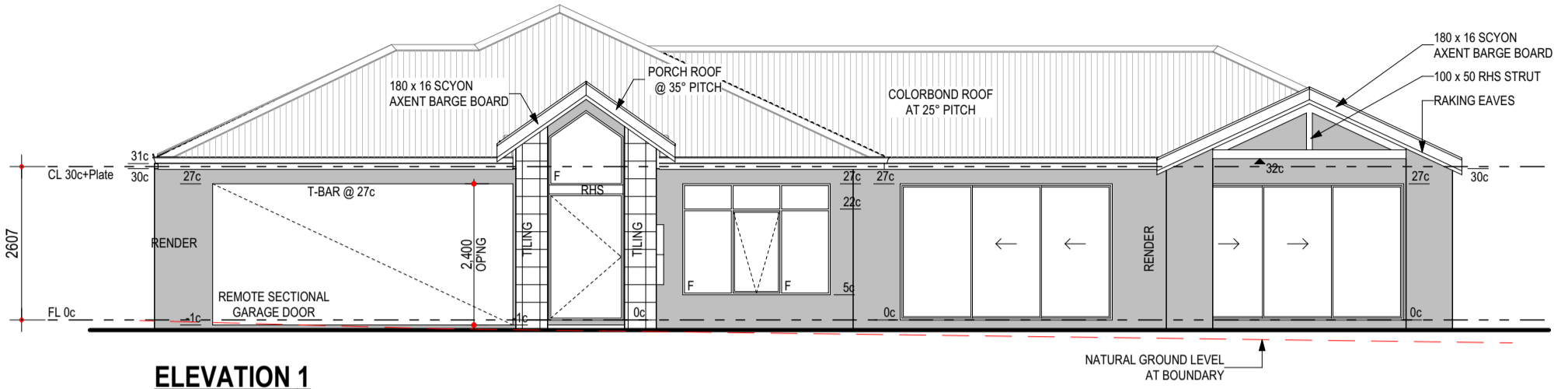
ROOF NOTE

- COLORBOND ROOF, PITCH AT 25° W/ 500W EAVES UNO
- STEEL ROOF IN ACCORDANCE TO NASH STANDARD
- CEILINGS AT 30c + PLATE UNLESS NOTED OTHERWISE

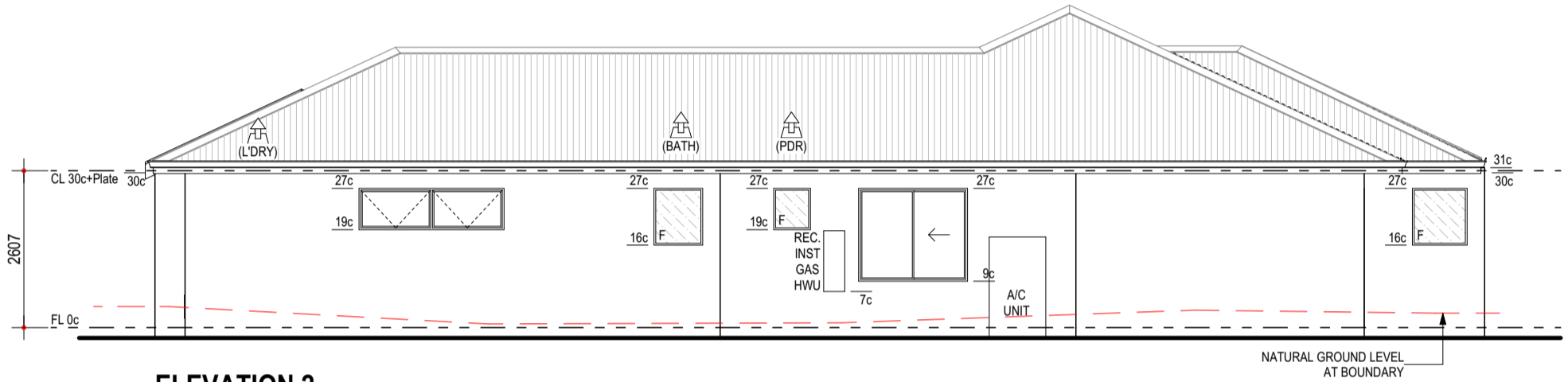
WINDOW SUPPLIER NOTE

- SHADED WINDOWS INDICATES OBSCURE GLAZING
- GLAZING DESIGNED & CONSTRUCTED IN ACCORDANCE WITH AS1288
- FOR WINDOWS IN BRICK CONSTRUCTION:
- WINDOW SUPPLIER TO SITE MEASURE FOR FINAL MEASUREMENTS IF DESIGN HAS A RAKING OR CLERESTORY WINDOWS PRIOR TO MANUFACTURE.

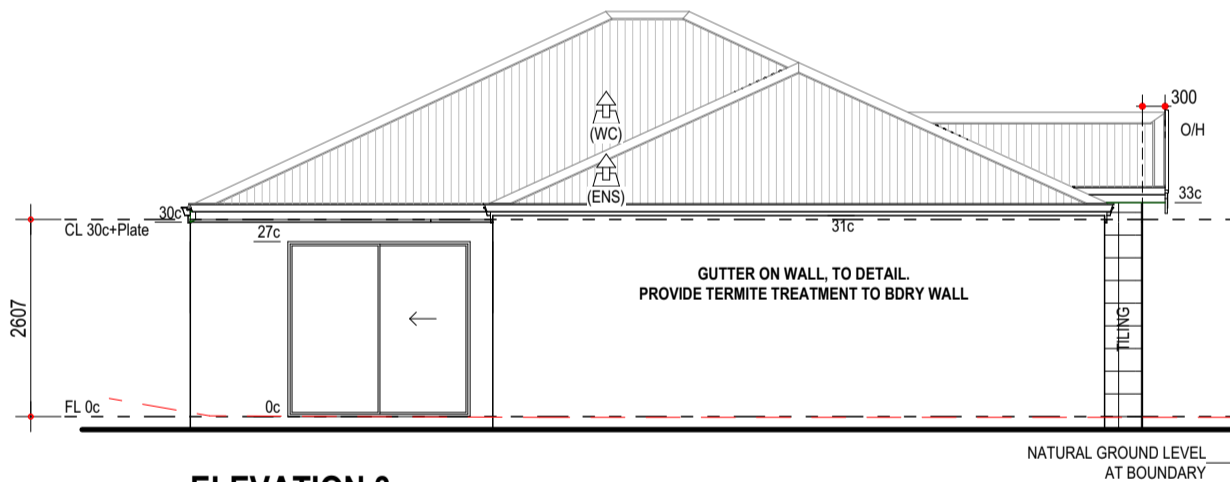
DO NOT SCALE FROM THIS DRAWING
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ALL DIMENSIONS TO BRICKWORK.



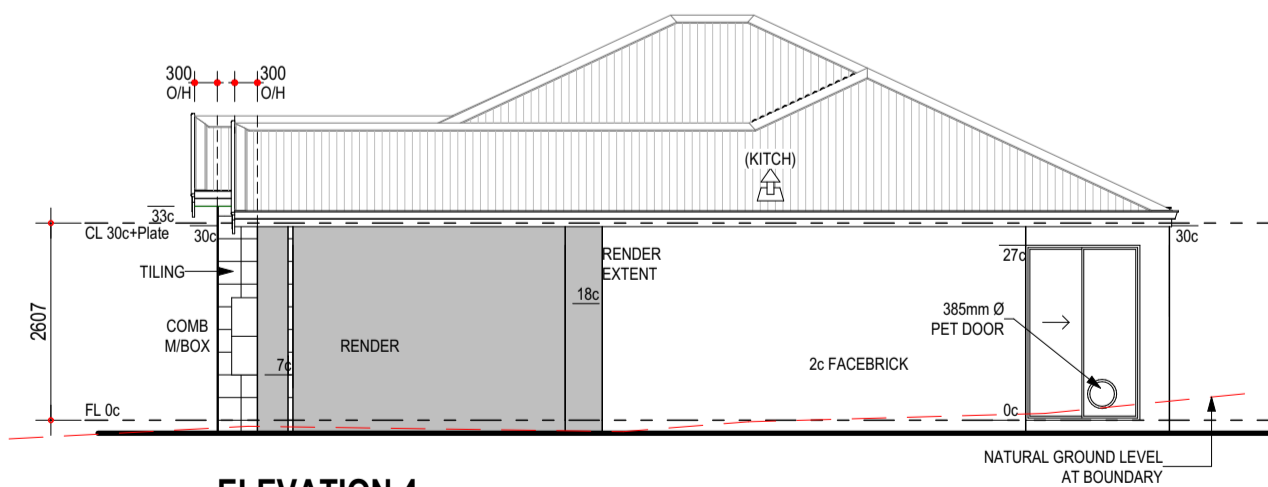
ELEVATION 1



ELEVATION 2



ELEVATION 3



ELEVATION 4

WITNESS:	CLIENT(S):	BUILDER:

PROPOSED RESIDENCE FOR:
MORSE

ADDRESS:
 SSL2 (#4) SALVADO AVE
 EAST FREMANTLE

DRAWN:	AGR	SCALE:	1:100	Issue Name	Drawn	Date	Issue Name	Drawn	Date
DESIGNED:	TRI	SHEET:	2 OF 9	AMENDMEN	AGR	21.04.20	T	AGR	29.07.20
CHECKED:	PMI	SIZE:	A3	V002	AGR	29.07.20			
DATE:	20/11/19	ONE-OFF							
MODEL:	ONE-OFF	JOB N°	158558						

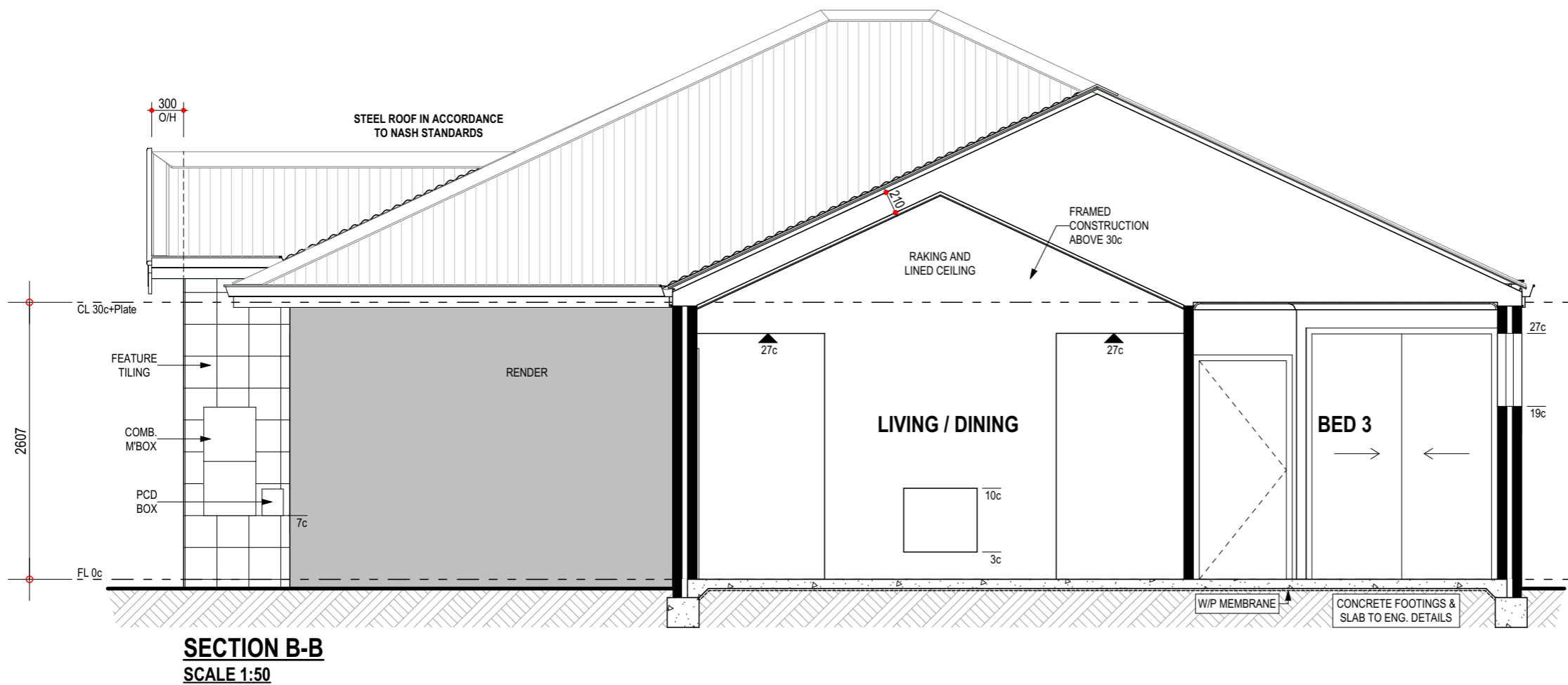
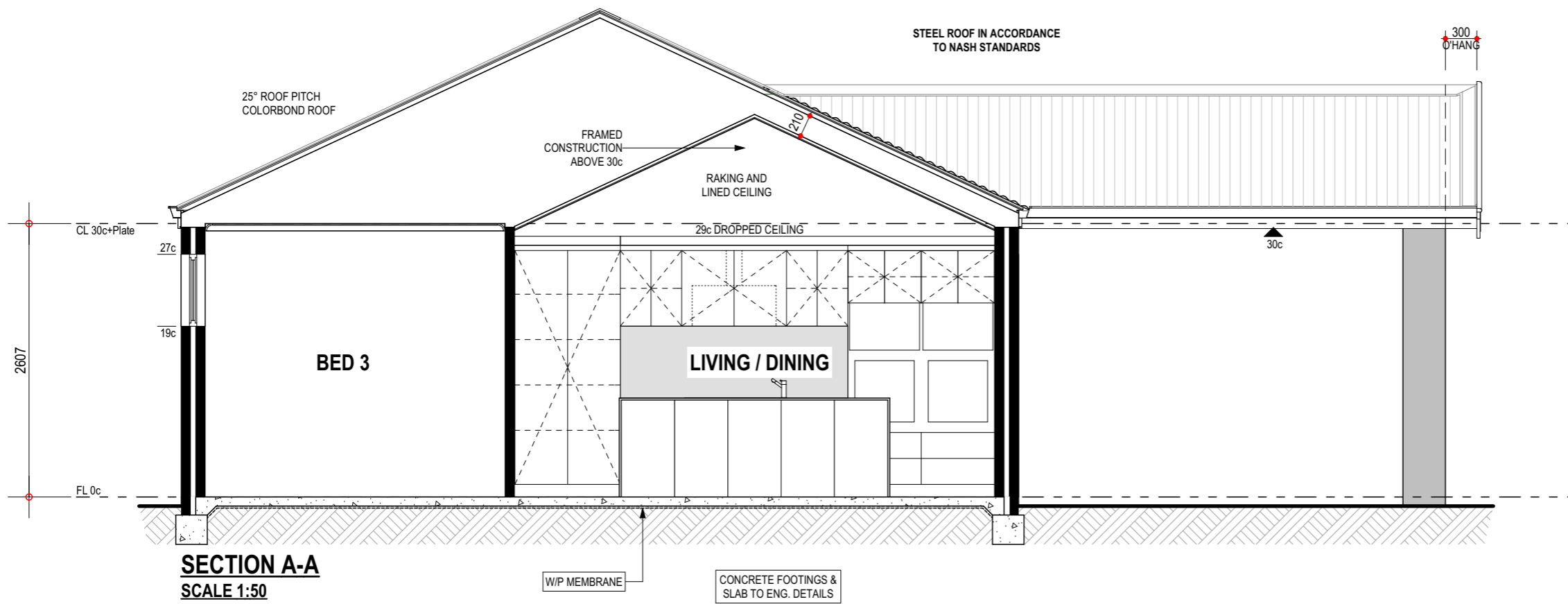
ELEVATIONS



SUMMIT
 HOMES GROUP

BUILD | RENOVATE | DEVELOP

DO NOT SCALE FROM THIS DRAWING
 All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay.
 ALL DIMENSIONS TO BRICKWORK.



DO NOT SCALE FROM THIS DRAWING
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 ALL DIMENSIONS TO BRICKWORK.

BUILDER: _____
 CLIENT(S): _____
 WITNESS: _____

PROPOSED RESIDENCE FOR:
MORSE
 ADDRESS:
**SSL2 (#4) SALVADO AVE
 EAST FREMANTLE**

BUILT AROUND PEOPLE

DRAWN: AGR
 DESIGNED: TRI
 CHECKED: PMI
 DATE: 20/11/19
 MODEL:
ONE-OFF

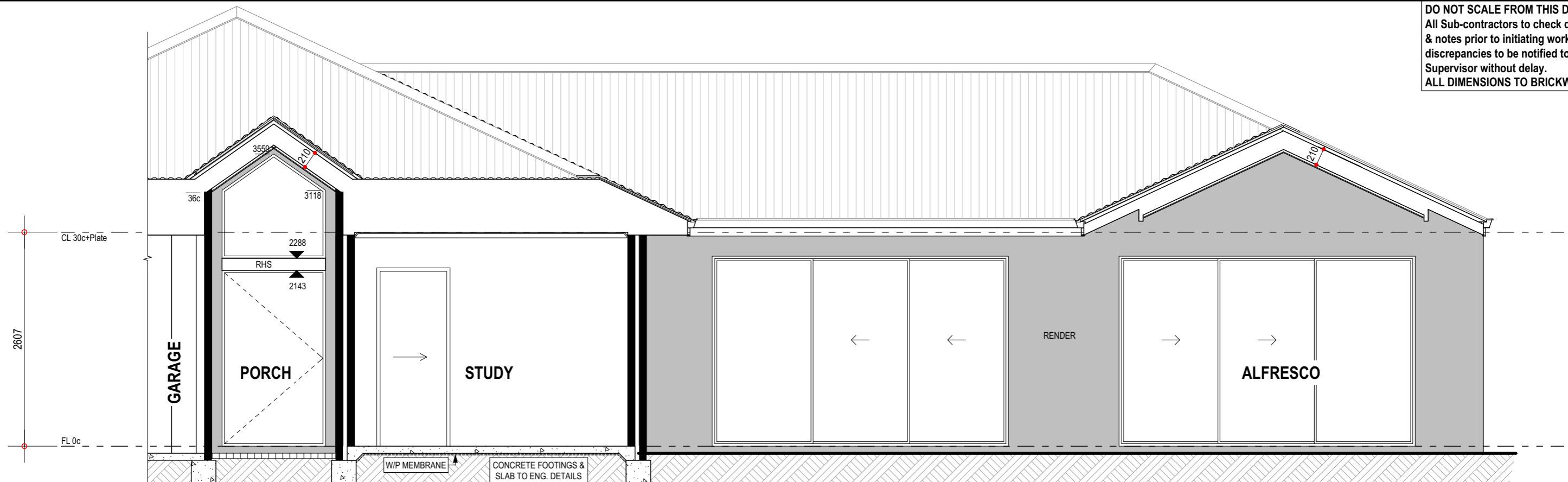
SCALE: AS NOTED
 SHEET: 3 OF 9
 SIZE: A3
 ONE-OFF
 JOB N°
158558

Issue Name	Drawn	Date	Issue Name	Drawn	Date
AMENDMEN T V002	AGR	21.04.20			
	AGR	29.07.20			

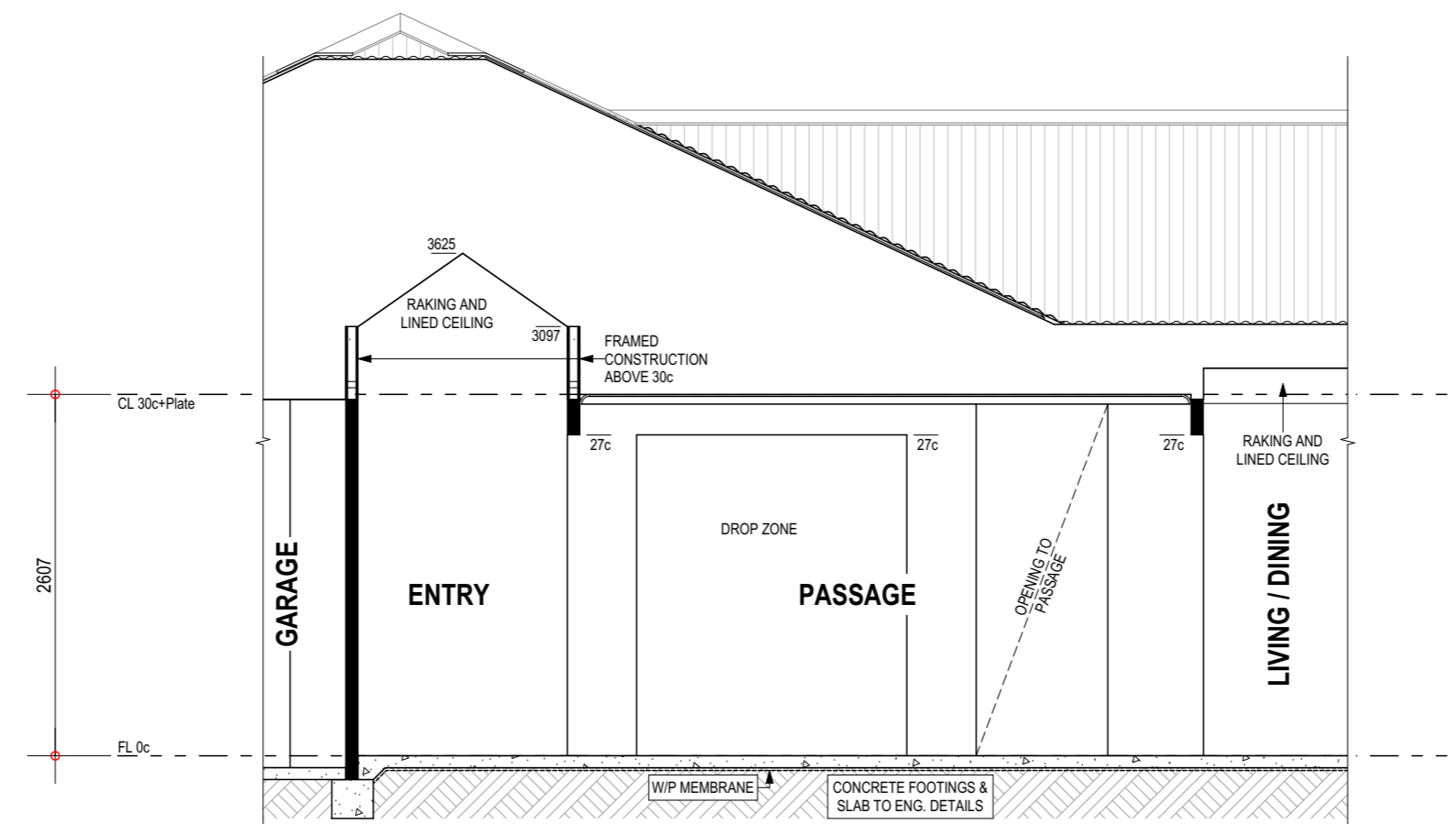
SECTION



DO NOT SCALE FROM THIS DRAWING
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 ALL DIMENSIONS TO BRICKWORK.



SECTION C-C
 SCALE 1:50



SECTION D-D
 SCALE 1:50

DO NOT SCALE FROM THIS DRAWING
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 Any discrepancies to be notified to the Site Supervisor without delay.
 ALL DIMENSIONS TO BRICKWORK.

BUILDER: _____
 CLIENT(S): _____
 WITNESS: _____

PROPOSED RESIDENCE FOR:
MORSE
 ADDRESS:
**SSL2 (#4) SALVADO AVE
 EAST FREMANTLE**

DRAWN: AGR
 DESIGNED: TRI
 CHECKED: PMI
 DATE: 20/11/19
 MODEL: ONE-OFF

SCALE: AS NOTED
 SHEET: 4 OF 9
 SIZE: A3
 ONE-OFF
 JOB N° 158558

Issue Name	Drawn	Date	Issue Name	Drawn	Date
AMENDMEN T	AGR	21.04.20			
V002	AGR	29.07.20			

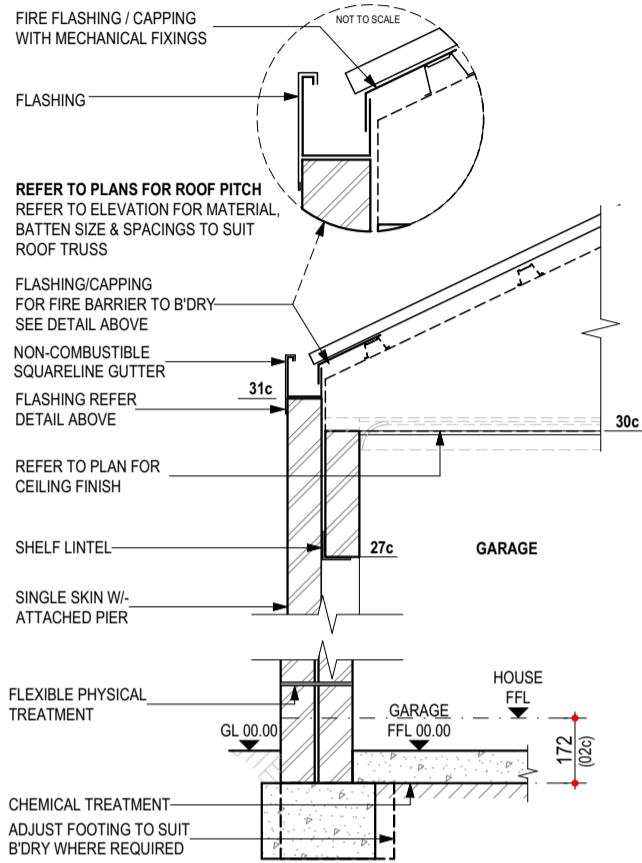
SECTION

BUILT AROUND PEOPLE

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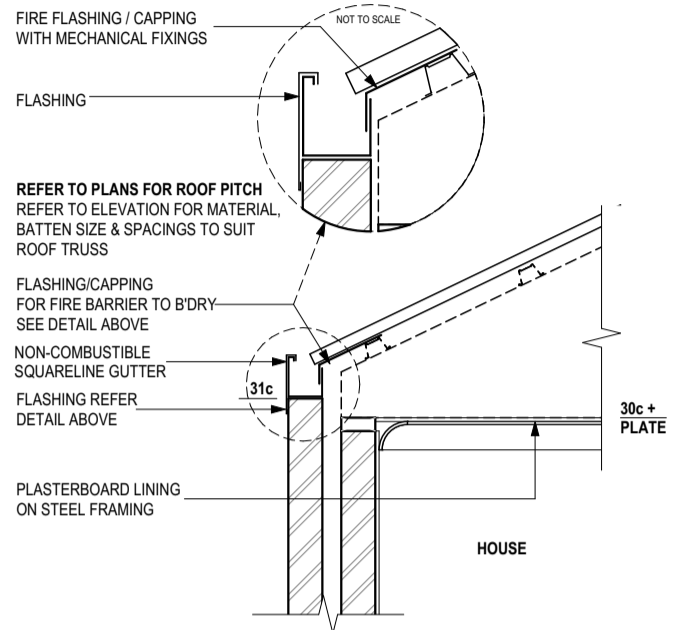
SUMMIT
 HOMES GROUP
 BUILD | RENOVATE | DEVELOP

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ALL DIMENSIONS TO BRICKWORK.



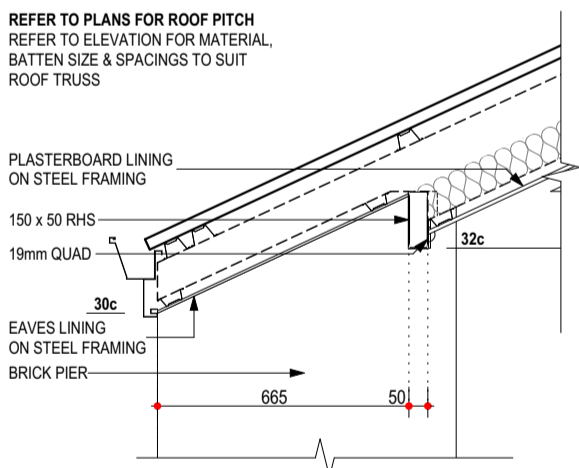
D01 - GUTTER ON WALL / FLASHING DETAIL TO GARAGE W/- TERMITE TREATMENT

- NOTES:**
- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
 - WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
 - REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
 - STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.
 - SCALE 1 : 20



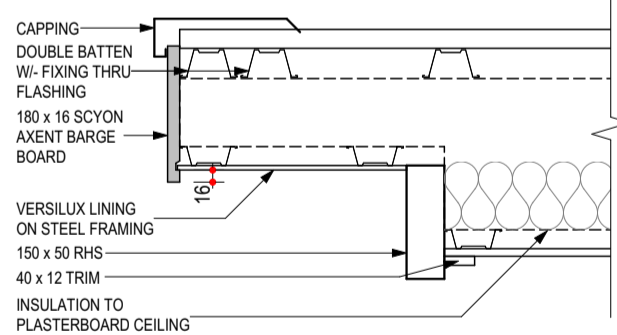
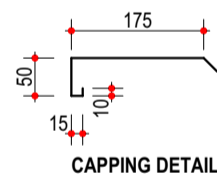
D02 - GUTTER ON WALL / FLASHING DETAIL TO HOUSE

- NOTES:**
- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
 - WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
 - STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.
 - SCALE 1 : 20



D03 - RAKING CEILING & EAVES TO TRUSS TO ALFRESCO

- NOTES:**
- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
 - STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.
 - SCALE 1:20



D04 - RAKING BARGE DETAIL TO TRUSS

- NOTES:**
- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
 - STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.
 - SEE ELEVATION FOR ROOF PITCH
 - SCALE 1:10

BUILDER: _____
 CLIENT(S): _____
 WITNESS: _____

PROPOSED RESIDENCE FOR:
MORSE

ADDRESS:
 SSL2 (#4) SALVADO AVE
 EAST FREMANTLE

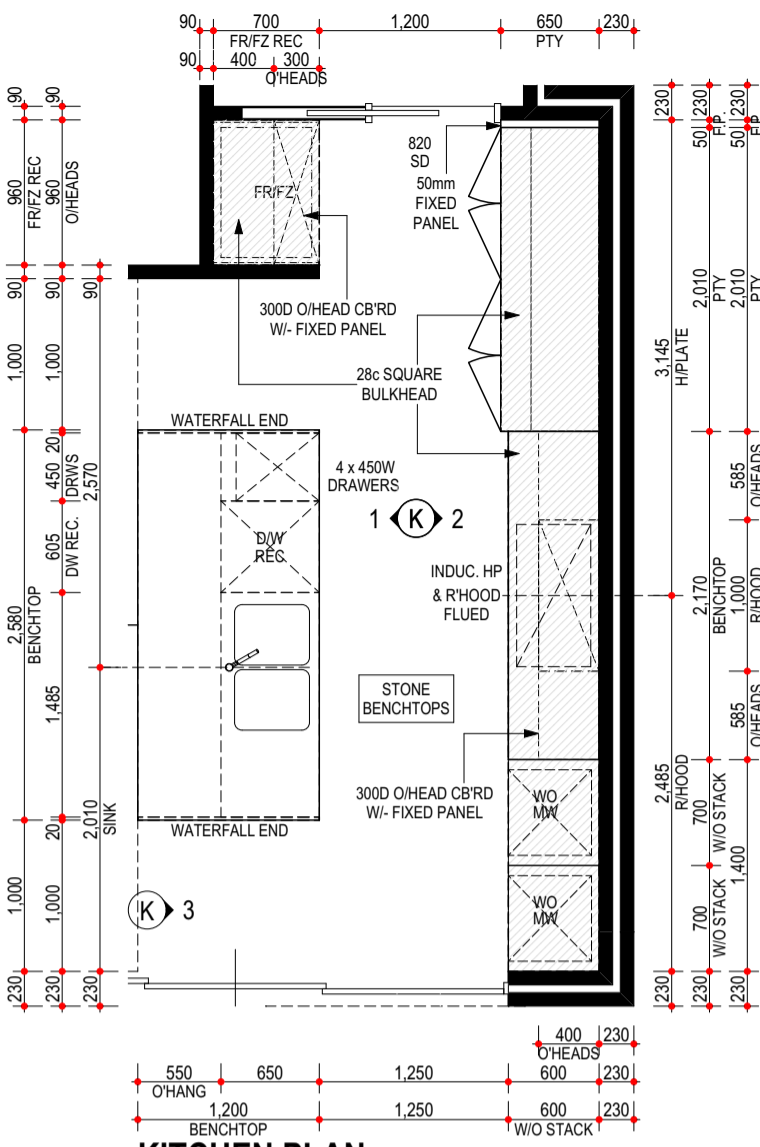
BUILT AROUND PEOPLE

DRAWN: AGR SCALE: AS NOTED
 DESIGNED: TRI SHEET: 5 OF 9
 CHECKED: PMI SIZE: A3
 DATE: 20/11/19 ONE-OFF
 MODEL: ONE-OFF JOB N°
158558

Issue Name	Drawn	Date	Issue Name	Drawn	Date
AMENDMENT	AGR	21.04.20			
V002	AGR	29.07.20			

DETAILS





BENCHTOP NOTE

- LOCATION OF JOINS TO BENCHTOPS TO BE AT CABINET MAKERS/STONE MASON'S DISCRETION

WALL FINISH NOTE

- DIMENSIONS SHOWN ON PLAN ARE TO B/WORK ONLY, SIZES WILL VARY ON SITE DUE TO ALLOWANCE FOR WALL FINISHES

CABINETMAKER NOTE

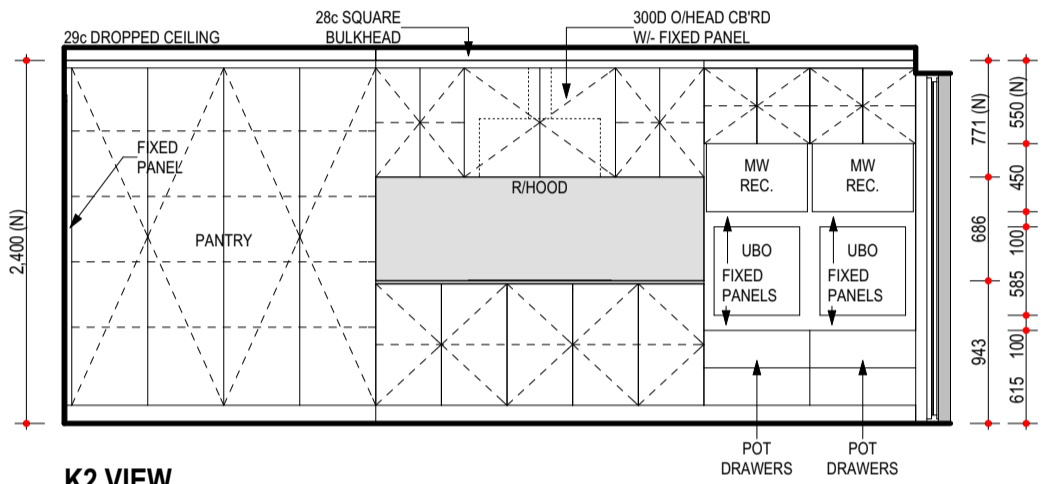
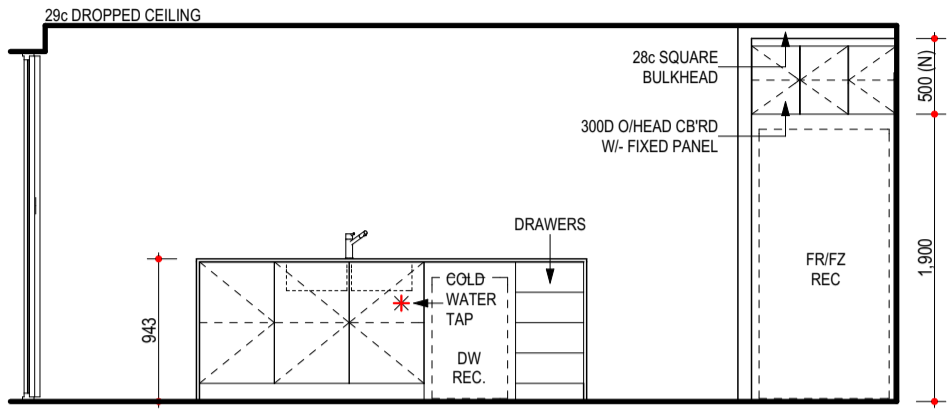
- REFER TO ELECTRICAL PLAN FOR GPO LOCATIONS

TILER NOTE

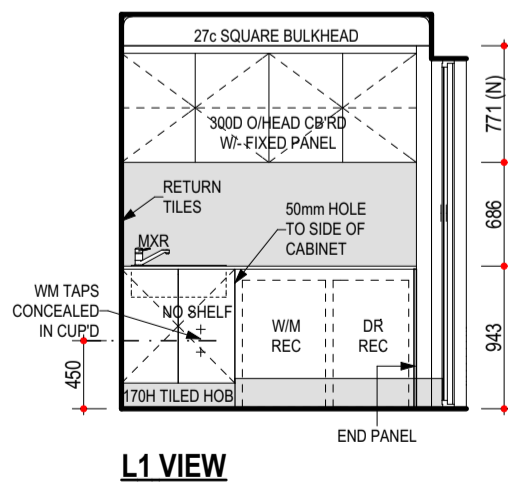
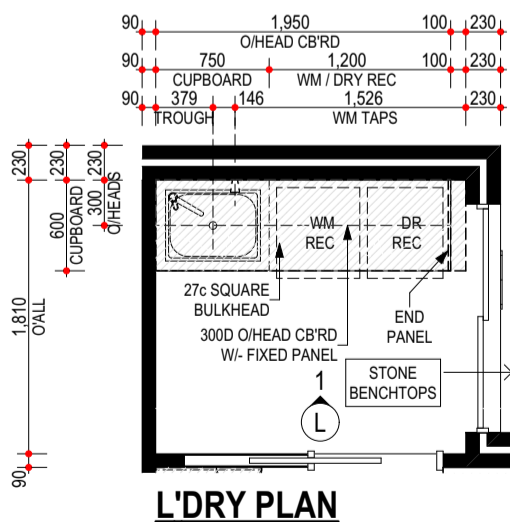
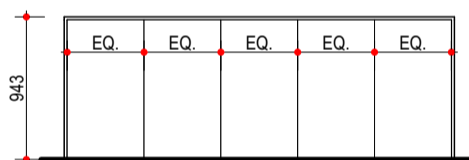
- SHADING DENOTES EXTENT OF TILING
 - ALL TILING & SOAP HOLDER HEIGHTS AS PER TILE SELECTION SHEET
 - CLIENT TO MEET TILER ON SITE PRIOR TO COMMENCEMENT OF WORKS TO VERIFY LOCATION OF TILES
 - ALL WINDOW SILLS IN WET AREAS TO BE TILED

DO NOT SCALE FROM THIS DRAWING
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ALL DIMENSIONS TO BRICKWORK.

REFER TO ADDENDUM FOR FITOUT SPECIFICATION
 WET AREAS CONSTRUCTED IN ACCORDANCE WITH PART 3.8.1 OF B.C.A. (VOL 2)



29c DROPPED CEILING



WITNESS: _____
 CLIENT(S): _____
 BUILDER: _____

PROPOSED RESIDENCE FOR:
MORSE

ADDRESS:
 SSL2 (#4) SALVADO AVE
 EAST FREMANTLE

BUILT AROUND PEOPLE

DRAWN: AGR
 DESIGNED: TRI
 CHECKED: PMI
 DATE: 20/11/19
 MODEL: ONE-OFF

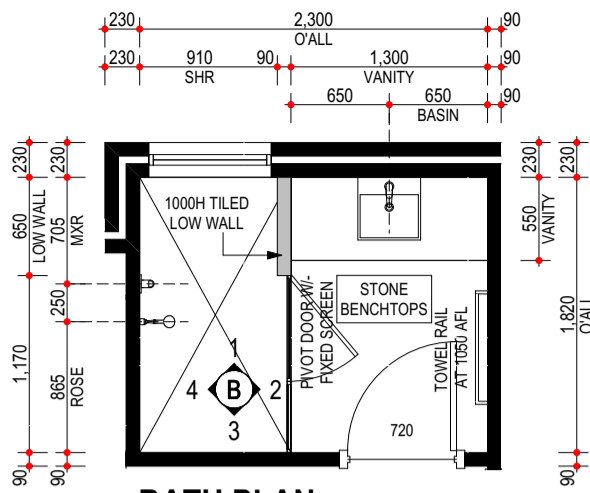
SCALE: 1:50
 SHEET: 6 OF 9
 SIZE: A3
 ONE-OFF
 JOB N° 158558

Issue Name	Drawn	Date	Issue Name	Drawn	Date
AMENDMENT	AGR	21.04.20			
V002	AGR	29.07.20			

ROOM LAYOUTS



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BATH PLAN

BENCHTOP NOTE

- LOCATION OF JOINS TO BENCHTOPS TO BE AT CABINET MAKERS/STONE MASON'S DISCRETION

WALL FINISH NOTE

- DIMENSIONS SHOWN ON PLAN ARE TO B/WORK ONLY, SIZES WILL VARY ON SITE DUE TO ALLOWANCE FOR WALL FINISHES

CABINETMAKER NOTE

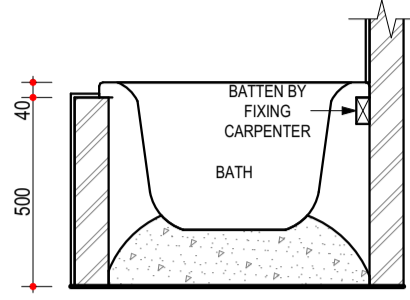
- REFER TO ELECTRICAL PLAN FOR GPO LOCATIONS

TILER NOTE

- SHADING DENOTES EXTENT OF TILING
 - ALL TILING & SOAP HOLDER HEIGHTS AS PER TILE SELECTION SHEET
 - CLIENT TO MEET TILER ON SITE PRIOR TO COMMENCEMENT OF WORKS TO VERIFY LOCATION OF TILES
 - ALL WINDOW SILLS IN WET AREAS TO BE TILED

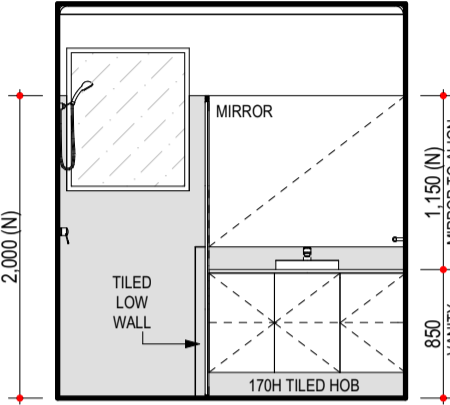
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REFER TO ADDENDUM FOR FITOUT SPECIFICATION
 WET AREAS CONSTRUCTED IN ACCORDANCE WITH PART 3.8.1 OF B.C.A. (VOL 2)

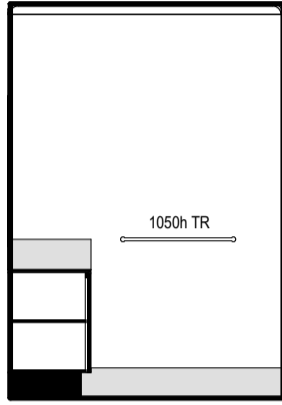


TYPICAL BATH HOB SECTION

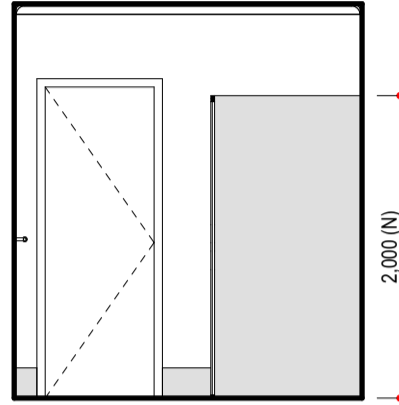
- SCALE 1 : 20



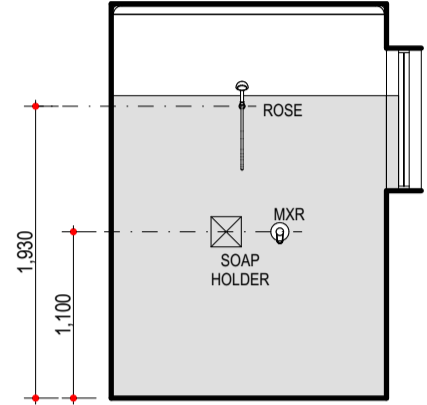
B1 VIEW



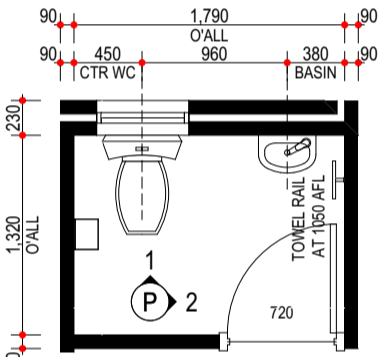
B2 VIEW



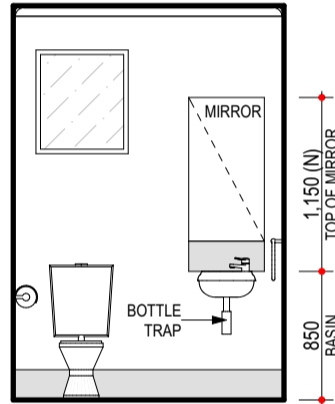
B3 VIEW



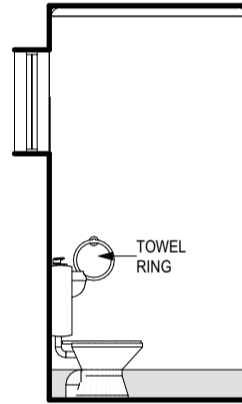
B4 VIEW



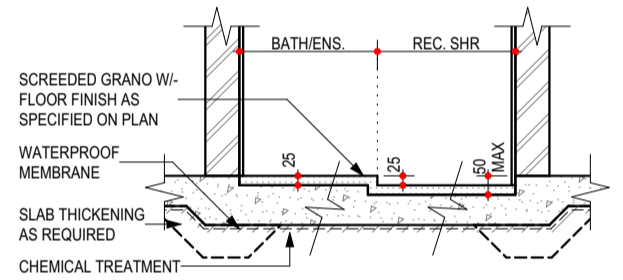
PDR PLAN



P1 VIEW



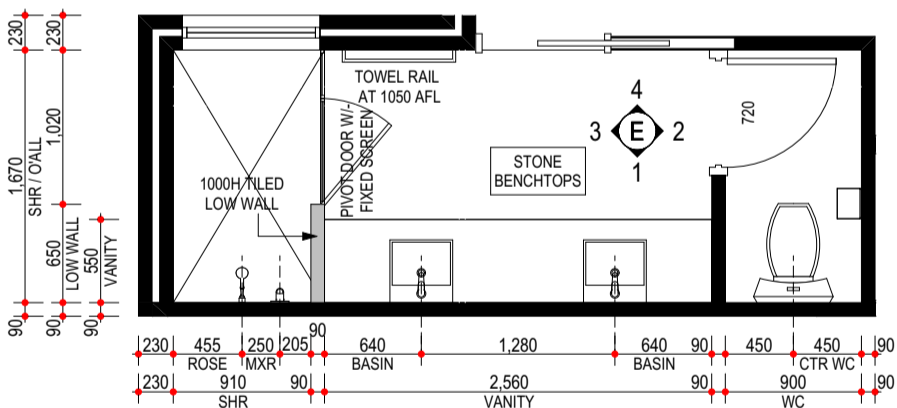
P2 VIEW



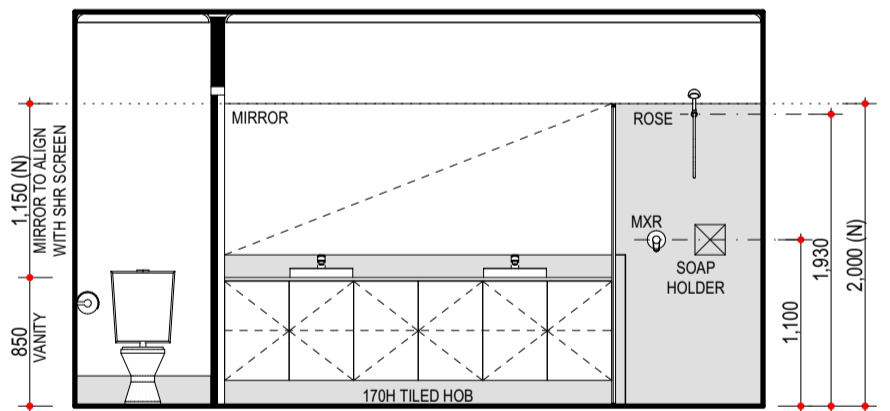
RECESSED SHOWER DETAIL (NO HOB)

NOTES:

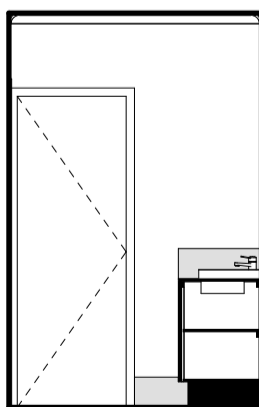
- REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
 - WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
 - SCALE 1 : 20



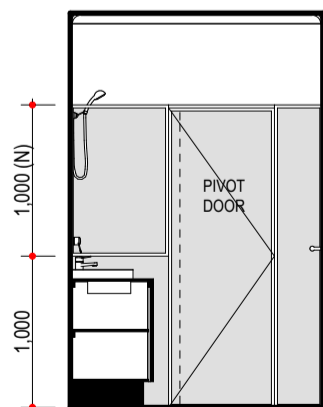
ENS PLAN



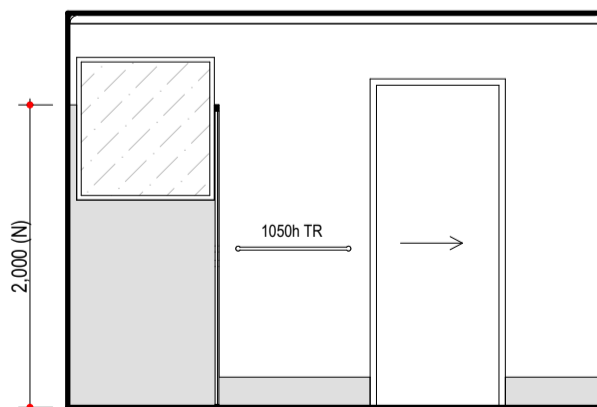
E1 VIEW



E2 VIEW



E3 VIEW



E4 VIEW

WITNESS: _____
 CLIENT(S): _____
 BUILDER: _____

PROPOSED RESIDENCE FOR:
MORSE

ADDRESS:
 SSL2 (#4) SALVADO AVE
 EAST FREMANTLE

DRAWN:	AGR	SCALE:	1:50	Issue Name	Drawn	Date	Issue Name	Drawn	Date
DESIGNED:	TRI	SHEET:	7 OF 9	AMENDMEN	AGR	21.04.20			
CHECKED:	PMI	SIZE:	A3	V002	AGR	29.07.20			
DATE:	20/11/19	ONE-OFF							
MODEL:	ONE-OFF	JOB N°	158558						

ROOM LAYOUTS



SUMMIT
 HOMES GROUP

BUILD | RENOVATE | DEVELOP

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ELECTRICAL LEGEND

Ground Floor

Qty	Sym.	Description	Watts	Insulation Penetrations
3	○ 11w*	CEILING LIGHT (11w) Perimeter Lighting	33*	*
1	○ 11w*	CEILING LIGHT (11w) Class 10	11*	*
1	□	WALL VENT	0	0.024
2	□	CEILING VENT	0	0.245
2	⊙	H.WIRED SMOKE DETECTOR	0	
4	⊗	EXHAUST FAN	0	0.181
18	○ 11w	CEILING LIGHT (11w)	198	
3	2 WAY	2 WAY SWITCH	0	
2	⊗	Ceiling Fan/Light (13w)	26	
1	⊗	W/P SGPO INSTALLED IN HWU	0	
2	⊗	SINGLE GPO IN/ON CEILING	0	
4	⊗	SINGLE GPO @ NOTED HT	0	
2	⊗	DOUBLE WATER PROOF GPO	0	
6	⊗	DOUBLE GPO @ NOTED HT	0	
6	⊗	DOUBLE GPO @ 200 AFL	0	
1	⊙	CONDUIT AT 1200 AFL FOR PSU BY O.N.C	0	
1	⊙	CONDUIT (20mm)	0	
1	+	GAS POINT - CEILING VENT	0	
1	D1(PH)	D1 (PHONE)	0	
1	D1(INT)	D1 (INTERNET)	0	
1	C1(TV)	C1 (TV)	0	

* NOT INC. IN CLASS 1 CALC. SEE PLAN FOR MORE INFO. Subtotal: 224 0.450
 PERIMETER LIGHTING MIN. 40 LUMENS/W.
Total Class 1 Wattage= 224

AIRCON NOTE

- PROVIDE REVERSE CYCLE AIR CONDITIONING.
- OUTLET POSITIONS TO BE NOMINATED BY SUPPLIER.
- EXTERNAL UNIT NOT TO BE VISIBLE FROM THE STREET.

PRESTART NOTE

- THE FOLLOWING ADDITIONAL ELECTRICAL ITEMS ARE TO BE PROVIDED W/ LOCATIONS TO BE CONFIRMED AT PRE-START:
- 40x LED LIGHTS

ELECTRICAL NOTE

- PROVIDE CONDUIT & DRAW WIRE IN COMMON TRENCH TO METER BOX, DUAL CONDUITS & DRAW WIRES REQUIRED IF TWO COMMUNICATION PITS AVAILABLE
- INTERCONNECTED SMOKE DETECTORS TO AS3786-2014
- N.B.N PACKAGE SUPPLIED AND INSTALLED BY 'OTHER NOMINATED CONTRACTOR' (O.N.C). PLEASE REFER TO ELECTRICAL LEGEND AND PLAN FOR DETAILS
- FINAL POSITION OF ELECTRICAL ITEMS SUCH AS GPO'S, LIGHT SWITCHES ETC. MAY VARY ON SITE DUE TO ELECTRICAL REGULATIONS. LIGHT SWITCH HEIGHT TO BE AT 1200 AFL U.N.O.
- NEUTRAL CABLING REQUIRED TO ALL LIGHT SWITCHES.
- ALL EXHAUST FANS TO BE FLUED TO EXTERNAL AIR
- PROVIDE THREE PHASE POWER.

DO NOT SCALE FROM THIS DRAWING
 All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.

NBN READY

Wattage Calculations (Class 1)

Story Name	Area	Allowed Wattage	Actual Wattage
0 Ground Floor	155.42 Sqm	777 w	224 w
	155.42 sqm	777 w	224 w

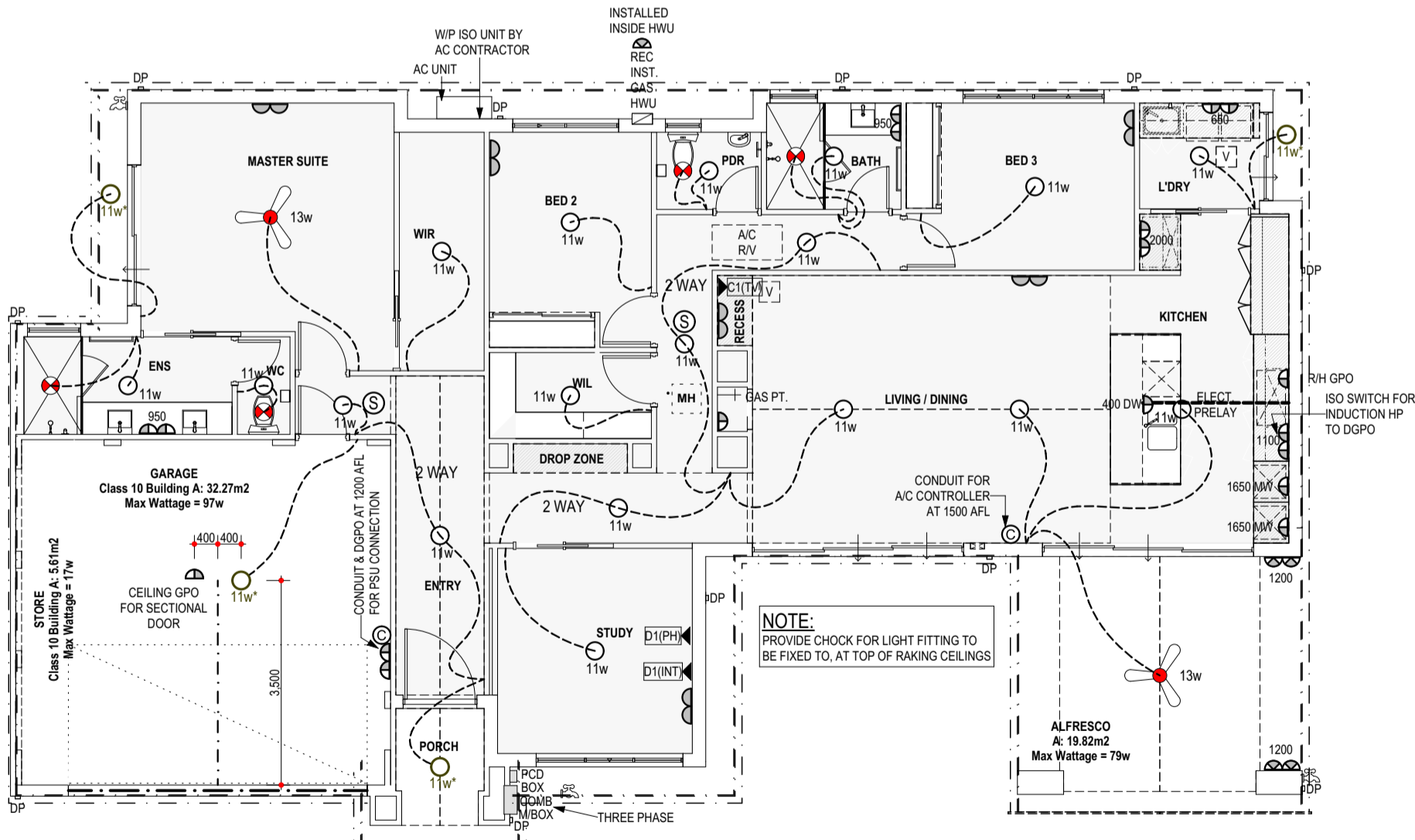
Recessed Fitting Penetrations (Class 1)

Story Name	Area	Maximum Penetrations	Actual Penetrations
Total Insulation Area	155.42 sqm	0.777 sqm	0.450 sqm
	155.42 sqm	0.777 sqm	0.450 sqm
	0.29 % R4.0	Insulation Adjustment Not Required	PASS

LIGHT AND VENTILATION CALC.

Room Name	Opn %	Light	Vent.
5 STUDY			
Min. Ventilation = 0.88 Min. Light= 1.17 Total Area= 11.69			
W04 Awning	26 %	4.73 m2	1.22 m2
Totals		Light 4.73 m2	Vent 1.22 m2
4 BED 3			
Min. Ventilation = 0.77 Min. Light= 1.03 Total Area= 10.31			
W03 Awning	100 %	1.65 m2	1.65 m2
Totals		Light 1.65 m2	Vent 1.65 m2
3 BED 2			
Min. Ventilation = 0.68 Min. Light= 0.91 Total Area= 9.06			
W03 Sliding	50 %	2.79 m2	1.40 m2
Totals		Light 2.79 m2	Vent 1.40 m2
2 MASTER SUITE			
Min. Ventilation = 1.39 Min. Light= 1.85 Total Area= 18.52			
W05 Sliding Door	50 %	5.58 m2	2.79 m2
Totals		Light 5.58 m2	Vent 2.79 m2
1 LIVING / DINING KITCHEN			
Min. Ventilation = 3.37 Min. Light= 4.50 Total Area= 44.98			
W05 Sliding Door	67 %	8.30 m2	5.53 m2
W03 Sliding Door	67 %	8.30 m2	5.53 m2
Totals		Light 16.60 m2	Vent 11.07 m2

Inputs for Airmovement and Light are Valid



WITNESS:
 CLIENT(S):
 BUILDER:
 WITNESS:

PROPOSED RESIDENCE FOR:
MORSE

ADDRESS:
 SSL2 (#4) SALVADO AVE
 EAST FREMANTLE

DRAWN: AGR SCALE: 1:100
 DESIGNED: TRI SHEET: 8 OF 9
 CHECKED: PMI SIZE: A3
 DATE: 20/11/19 ONE-OFF
 MODEL: ONE-OFF JOB N°
158558

Issue Name Drawn Date Issue Name Drawn Date
 AMENDMENT AGR 21.04.20
 V002 AGR 29.07.20

ELECTRICAL PLAN



SUMMIT
 HOMES GROUP

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R-CODES NOTE:

ZONING: R20
 SITE COVERAGE
 SITE: 447m²
 ALLOWED COVER: 50% (223.5m²)
 ACTUAL COVER: 48% (214.96m²)

R-CODES VARIATION/PLANNING REQUIRED: YES

- GARAGE BOUNDARY WALL
 - ALFRESCO IN FRONT OF DWELLING

BAL ASSESSMENT REQUIRED: NO

ELECTRICAL NOTE:

PROVIDE 3-PHASE POWER TO METERBOX

AVERAGING

23.84m² BEHIND
 1.20m² IN FRONT

GARAGE NOTE:

- FALL GARAGE SLAB 20mm TOWARDS MAIN GARAGE OPENING

PLUMBING NOTE:

- PLUMBING DRAINAGE PLAN DIAGRAMMATIC ONLY. FINAL POSITION TO BE DETERMINED BY PLUMBER ON SITE
 - NO HOBS TO SHOWERS UNLESS SHOWN OTHERWISE.
 - PLUMBER TO INSTALL REFLUX VALVE, IF REQUIRED.

NOTE:

- PROVIDE CONDUIT & DRAW WIRE IN COMMON TRENCH TO METER BOX

SEWER:

- SEWER POSITION AND INV. LEVEL TO BE CONFIRMED

STORMWATER:

- INTERCONNECTED SOAKWELLS BY BUILDER. ALL STORMWATER & SURFACE WATER DRAINAGE TO BE INSTALLED IN ACCORDANCE WITH A.S. 3500.3:2003, CLAUSE 3.1.2.1 & 3.1.2.5 BCA VOL. 2 & LOCAL AUTHORITY REQ.

Soak Well Type	No.	Capacity
SW 1500x1200	2	4.2 m ³
Total Capacity		4.2 m ³
Roof Area GF		246.0 m ²
Paved Area		31.3 m ²
Total Area		277.4 m ²
Capacity Required (Area x 0.0130)		3.6 m ³
Extra Capacity Provided		0.6 m ³

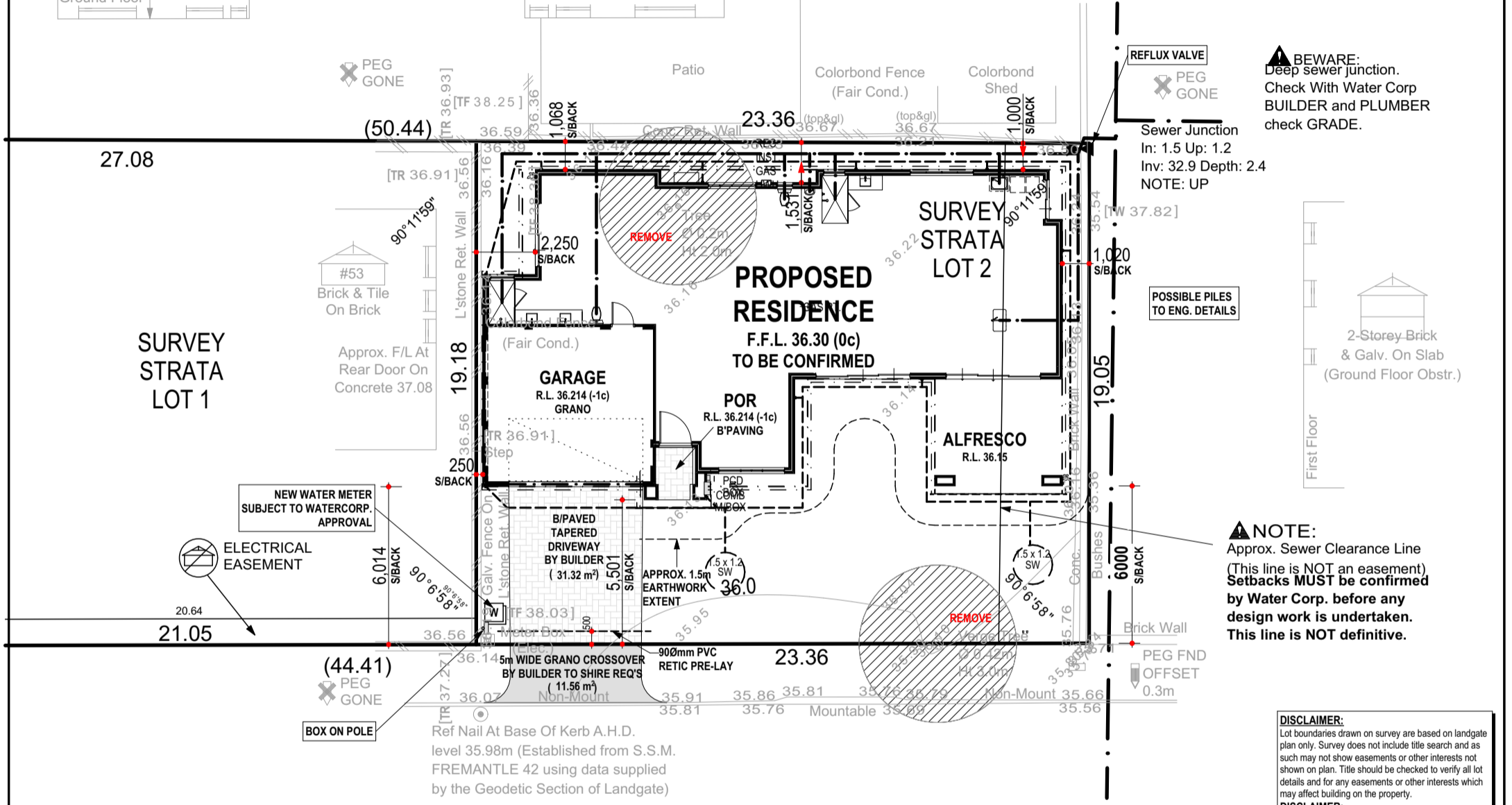
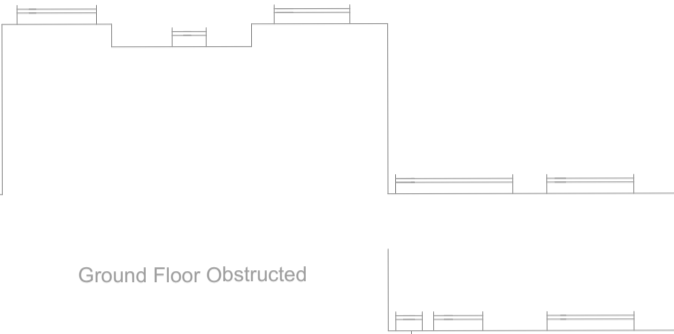
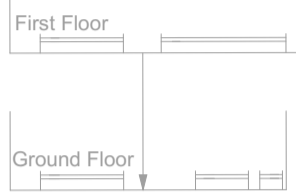
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ALL DIMENSIONS TO BRICKWORK.

LEGEND

⊕	SEC Dome
⊖	Power Pole
⊠	Phone Pits
⊞	Water Conn.
[TP 10.00]	Top Pillar/Post
[TW 10.00]	Top Wall
[TR 10.00]	Top Retaining
[TF 10.00]	Top Fence

PLUMBER NOTE:

- RELOCATE EXISTING HOUSE DRAIN FOR EXISTING UNIT 1 PRIOR TO EARTHWORKS.



Salvado Avenue
 Bitumen

WITNESS:
 CLIENT(S):
 BUILDER:

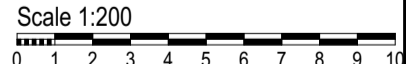
COTTAGE & ENGINEERING SURVEYS
 Licensed Surveyors
 87-89 Guthrie Street, Osborne Park, Western Australia.
 Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998.
 Email: perth@cottage.com.au Website: www.cottage.com.au

AREA:	446.54m ²
SHIRE:	EAST FREMANTLE
D.PLAN:	78185
C/T VOLUMM:	-
FOLIO:	-
MSD REF:	430 15/29

ROAD DESCR.:	BITUMEN
KERBING:	RTS
FOOTPATH:	NIL
SOIL:	RTS
DRAINAGE:	GOOD
VEGETATION:	RTS

GAS:	YES	SSA/OLD AREAS:	OLD A.	UNLOGGED SS PLAN:	N/A
WATER:	YES	C/JOB#:	463817	ORIGINAL LOT:	200
ELECTRICITY:	U/G	DATE:	09.01.20	LOT MISCLOSE:	-
PH/COMMS:	YES	SCALE:	1:200	SSL 1 MISCLOSE:	.009
SEWER:	YES	DRAWN:	C. WEIGHTMAN	SSL 2 MISCLOSE:	.001
COASTAL:	NO				

PROPOSED RESIDENCE FOR:	MORSE	DRAWN:	AGR	SCALE:	1:200	Issue Name	Drawn	Date	Issue Name	Drawn	Date
ADDRESS:	SSL2 (#4) SALVADO AVE EAST FREMANTLE	DESIGNED:	TRI	SHEET:	9 OF 9	AMENDMEN	AGR	21.04.20			
		CHECKED:	PMI	SIZE:	A3	V002	AGR	29.07.20			
		DATE:	20/11/19	ONE-OFF							
		MODEL:	ONE-OFF	JOB N°	158558						

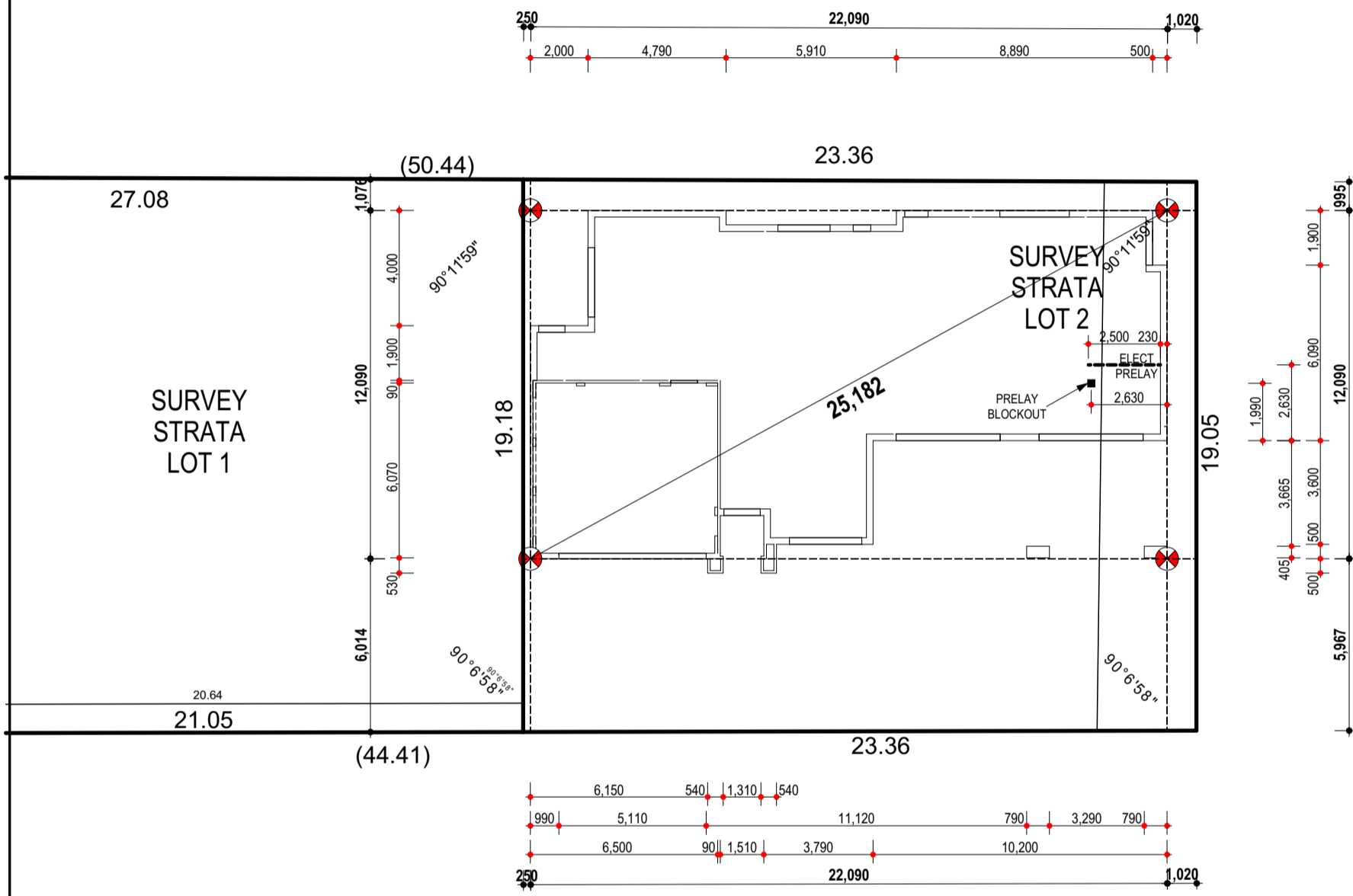


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 BUILD | RENOVATE | DEVELOP

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& notes prior to initiating works. Any
discrepancies to be notified to the Site
Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.

LEGEND		SEC Dome
		Power Pole
		Phone Pits
		Water Conn.
		Top Pillar/Post
		Top Wall
		Top Retaining
		Top Fence



DISCLAIMER:
 Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
 Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey inc. any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from inform. supplied by Water Corp.

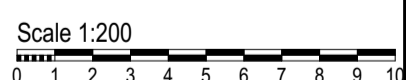
DISCLAIMER:
 Survey shows visible features only & will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal & mains services should be confirmed prior to finalisation of any design work.

NOTE:
 Earthworks/set-out dimensions may vary on site at builders discretion. Sewer/drainage may vary from schematic presentation/check min. clearances. Retaining not included in contract - remains owners responsibility. This survey does not guarantee the location of boundary pegs or fences. Check title for easements/covenants etc.

DISCLAIMER:
 Survey does not include verification of cadastral b'daries. All features & levels shown are based on orientation to existing pegs & fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true b'dary.

WARNING:
 Plan not yet approved by titles office. Verify lot dimensions & angles with title.

SETOUT PLAN



WITNESS: _____
 CLIENT(S): _____
 BUILDER: _____

COTTAGE & ENGINEERING SURVEYS
 Licensed Surveyors
 87-89 Guthrie Street, Osborne Park, Western Australia.
 Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998.
 Email: perth@cottage.com.au Website: www.cottage.com.au

AREA: 446.54m ²	ROAD DESCR.: BITUMEN	GAS: YES	SSA/OLD AREAS: OLD A.	UNLODGED SS PLAN: N/A
SHIRE: EAST FREMANTLE	KERBING: RTS	WATER: YES	C/JOB#: 463817	ORIGINAL LOT: 200
D.PLAN: 78185	FOOTPATH: NIL	ELECTRICITY: U/G	DATE: 09.01.20	LOT MISCLOSE: -
C/T VOLUMN: -	SOIL: RTS	PH/COMMS: YES	SCALE: 1:200	SSL 1 MISCLOSE: .009
FOLIO: -	DRAINAGE: GOOD	SEWER: YES	DRAWN: C. WEIGHTMAN	SSL 2 MISCLOSE: .001
MSD REF: 430 15/29	VEGETATION: RTS	COASTAL: NO		

PROPOSED RESIDENCE FOR: MORSE	DRAWN: AGR	SCALE: 1:200	Issue Name: AMENDMENT	Drawn: AGR	Date: 21.04.20	Issue Name: V002	Drawn: AGR	Date: 29.07.20
ADDRESS: SSL2 (#4) SALVADO AVE EAST FREMANTLE	DESIGNED: TRI	SHEET: A3	SIZE: A3	DATE: 20/11/19	ONE-OFF	JOB N°: 158558	SETOUT PLAN	
BUILT AROUND PEOPLE	CHECKED: PMI	MODEL: ONE-OFF						

