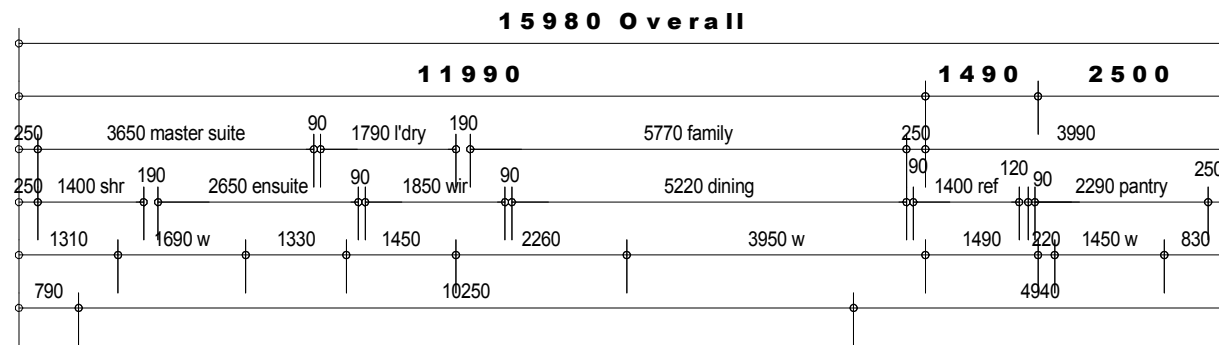


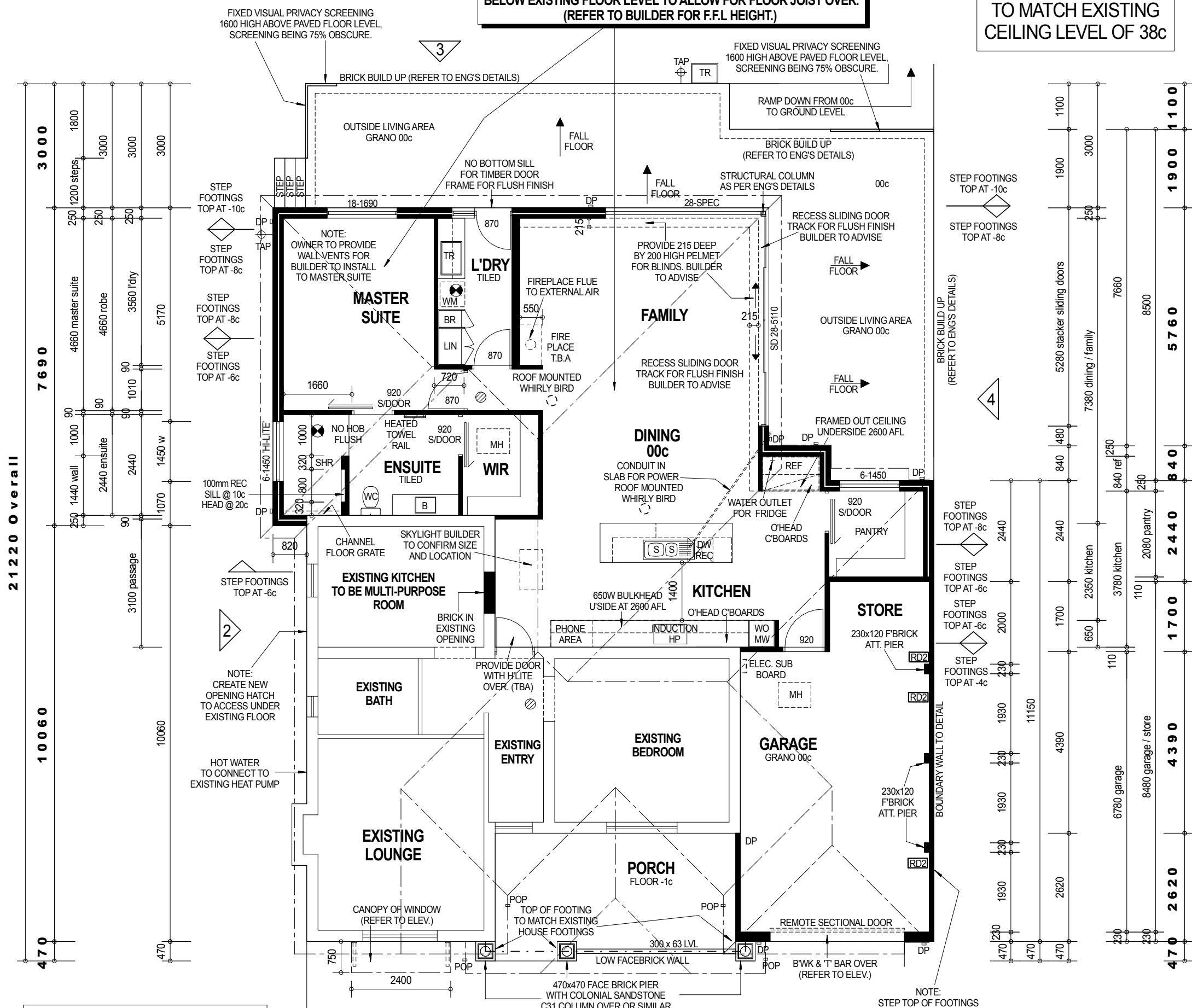
NOTE:
 BUILDER TO CONFIRM ALL DIMENSIONS AND SIZES PRIOR TO COMMENCEMENT.
 ALL DETAILS AND CONSTRUCTION SIZES ARE TO BE AS PER ENGINEER'S DETAILS.
 RAINWATER DOWNPIPE POSITIONS ARE INDICATIVE ONLY, ROOF PLUMBER SHALL DETERMINE FINAL POSITION ON SITE.



ADDITION AREA	123.83m ²
GARAGE / STORE	37.63m ²
TOTAL ADDITION AREA	161.46m ²
REINSTATED PORCH	19.06m ²
EXISTING AREA	74.16m ²
ADDITION PERIMETER	53.94m

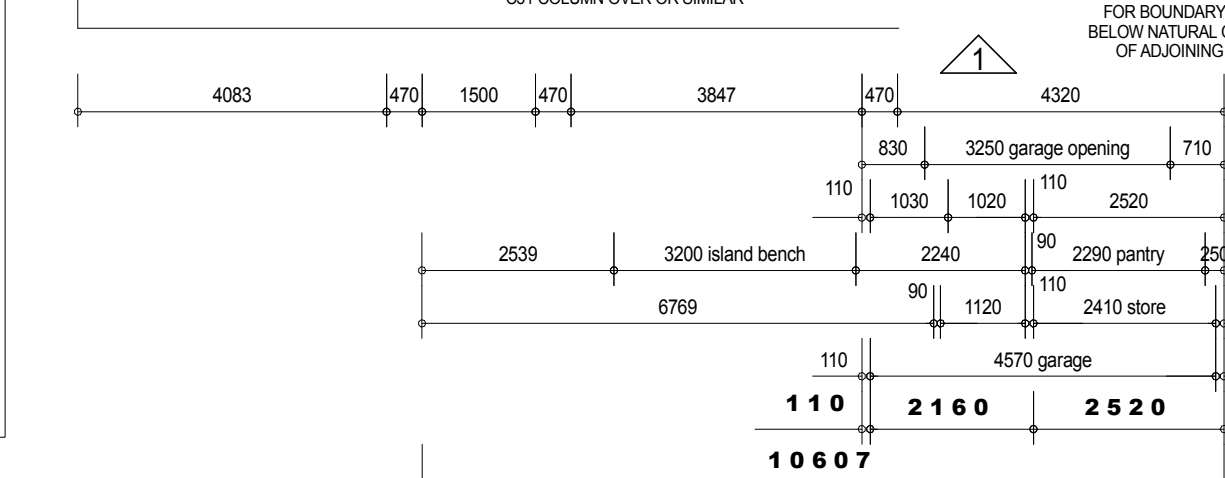
NOTE:
 FINISHED FLOOR LEVEL OF NEW CONCRETE SLAB TO BE FINISHED BELOW EXISTING FLOOR LEVEL TO ALLOW FOR FLOOR JOIST OVER.
 (REFER TO BUILDER FOR F.F.L HEIGHT.)

NEW CEILING LEVEL TO MATCH EXISTING CEILING LEVEL OF 38c



ENERGY NOTES

- R4.0 CEILING INSULATION TO HOUSE AND GARAGE
- ALL RECESSED LIGHTS TO BE NON-VENTED/SEALED
- SHGC & U-VALUE FOR GLAZED OPENING AS PER ATTACHED ABCB GLAZING CALCULATOR
- EXHAUST FANS, FLUES & DUCTS TO HAVE DAMPERS/SELF SEALING DEVICE IN CONDITIONAL AREAS
- WEATHER SEALS AROUND EXTERNAL TIMBER DOOR FRAMES.
- HWS TO HAVE 5 STAR RATING AND PIPEWORK SHALL NOT BE MORE THAN 20m TO THE FURTHEST OUTLET OR 2 OF INTERNAL VOLUME
- WC PANS & CISTERNS & ALL TAP FITTINGS (OTHER THAN BATH OUTLETS & GARDENS TAPS SHALL BE 4 STAR WELS RATED MIN.
- ALL SHOWER HEADS MUST BE 3 STAR WELS RATED MIN.



NOTE:
 ANY DISCREPANCIES TO BE NOTIFIED TO BUILDER PRIOR TO WORK COMMENCING.
 DO NOT SCALE FROM DRAWINGS
 PLANS TO BE READ IN CONJUNCTION WITH ADDENDA AND WORK ORDER. NOTIFY BUILDER OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK
 ALL DIMENSIONS TO BRICK SIZES ONLY NOT FINISHED SIZES

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**LOT: 390, #11
 PETRA STREET,
 EAST FREMANTLE**

DRAWN: ROB DATE: 27/07/2021 SHEET: 1

**FLOOR PLAN
 SCALE 1:100**

VARIATIONS

- ⊗ DIRECT WIRED SMOKE DETECTOR TO AS. 3786
- ⊗ EXHAUST FAN (FLUMED)
- ⊗ EXHAUST FAN (UNFLUMED)

JOB No. PETRA