

+	SEC Dome
⊖	Power Pole
⊕	Phone Pits
W	Water Conn.
[TP 10.00]	Top Pillar/Post
[TW 10.00]	Top Wall
[TR 10.00]	Top Retaining
[TF 10.00]	Top Fence

DISCLAIMER:
 Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
 Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

DISCLAIMER:
 Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

DISCLAIMER:
 Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

DISCLAIMER:
 Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and positioned from existing pegs/fences and walls which may not be on the correct alignment. Any design that involves additions to any structures shown or portion of structures remaining after any demolition has taken place requires boundaries to be repegged and exact offsets provided to your designer/architect before any plans are produced and before any work is started on site.

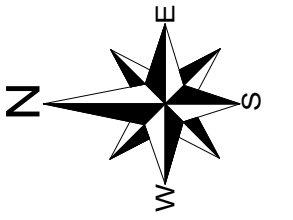
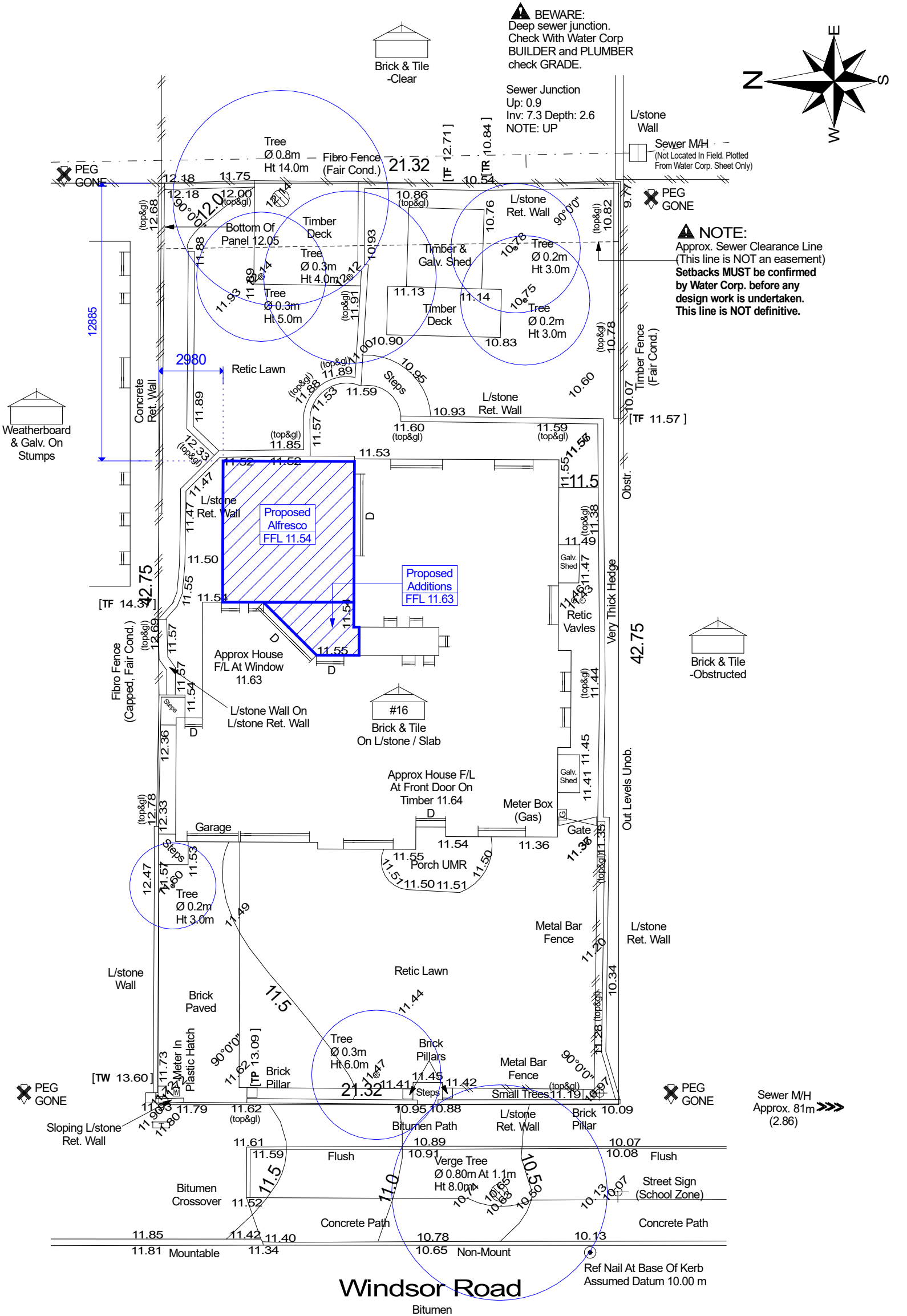
LOT MISCLOSE
 0.000 m

SOIL DESCRIPTION
 Sand
 Refer to Survey

BEWARE:
 Deep sewer junction.
 Check With Water Corp
 BUILDER and PLUMBER
 check GRADE.

Sewer Junction
 Up: 0.9
 Inv: 7.3 Depth: 2.6
 NOTE: UP

NOTE:
 Approx. Sewer Clearance Line
 (This line is NOT an easement)
 Setbacks MUST be confirmed
 by Water Corp. before any
 design work is undertaken.
 This line is NOT definitive.



Site Plan
 scale 1:200



Unit 1/42
 Westchester Road,
 MALAGA WA 6090
 ph: 9248 6122
 fax: 9248 6144

**PROPOSED ADDITIONS FOR
 CLARKE AND LEAH GILL
 16 WINDSOR ROAD,
 EAST FREMANTLE**

date: 13/2/2020 drawn: J.B. scale: 1:200 series: 1 OF 10

Rev.	Date	Issue	Int.
1	17/6/2020	ISSUED FOR CONTRACT	JB

A.01

J/N:359

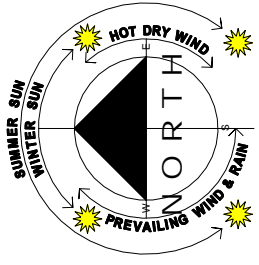
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SYMBOL LEGEND

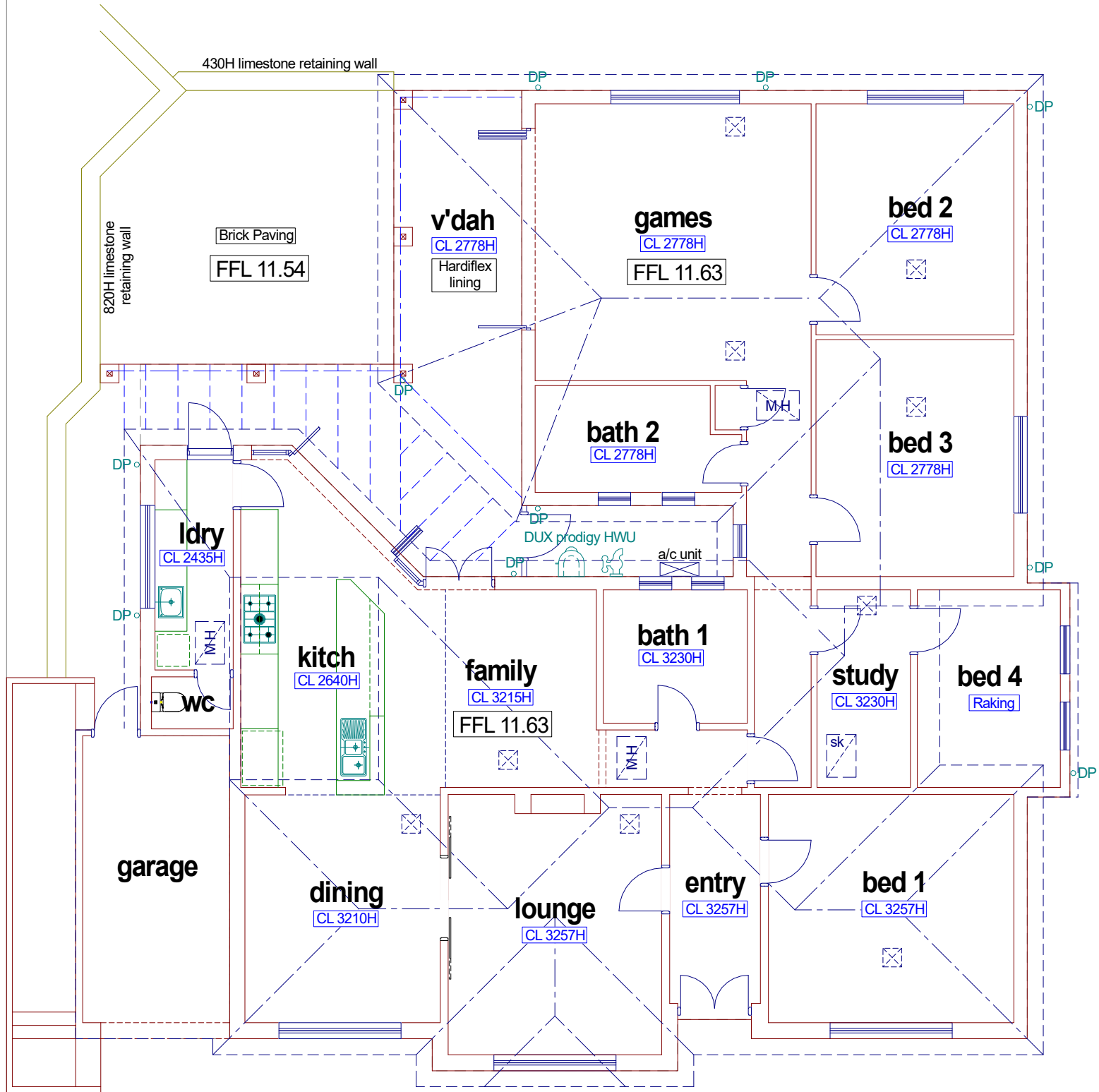
	DENOTES EXISTING BRICKWORK		MANHOLE FOR ROOF ACCESS		DENOTES GARDEN TAP
	DENOTES NEW 90mm BRICKWORK		DENOTES SKYLIGHT		DENOTES GAS POINT
	DENOTES NEW 110mm FACEBRICK		DENOTES A/C VENT		DENOTES HOT WATER UNIT
	DENOTES NEW 90mm STUDWORK		DENOTES RETURN AIR VENT		DENOTES METERBOX
	DENOTES EXTENT OF NEW RENDER				

AREAS

HOUSE	230.96m ²
GARAGE	16.51m ²
VERANDAH	36.01m ²
TOTAL AREA	283.48m²
PERIM	83.71m



3
4



2
1

Existing Floor Plan

scale 1:100



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EAST FREMANTLE

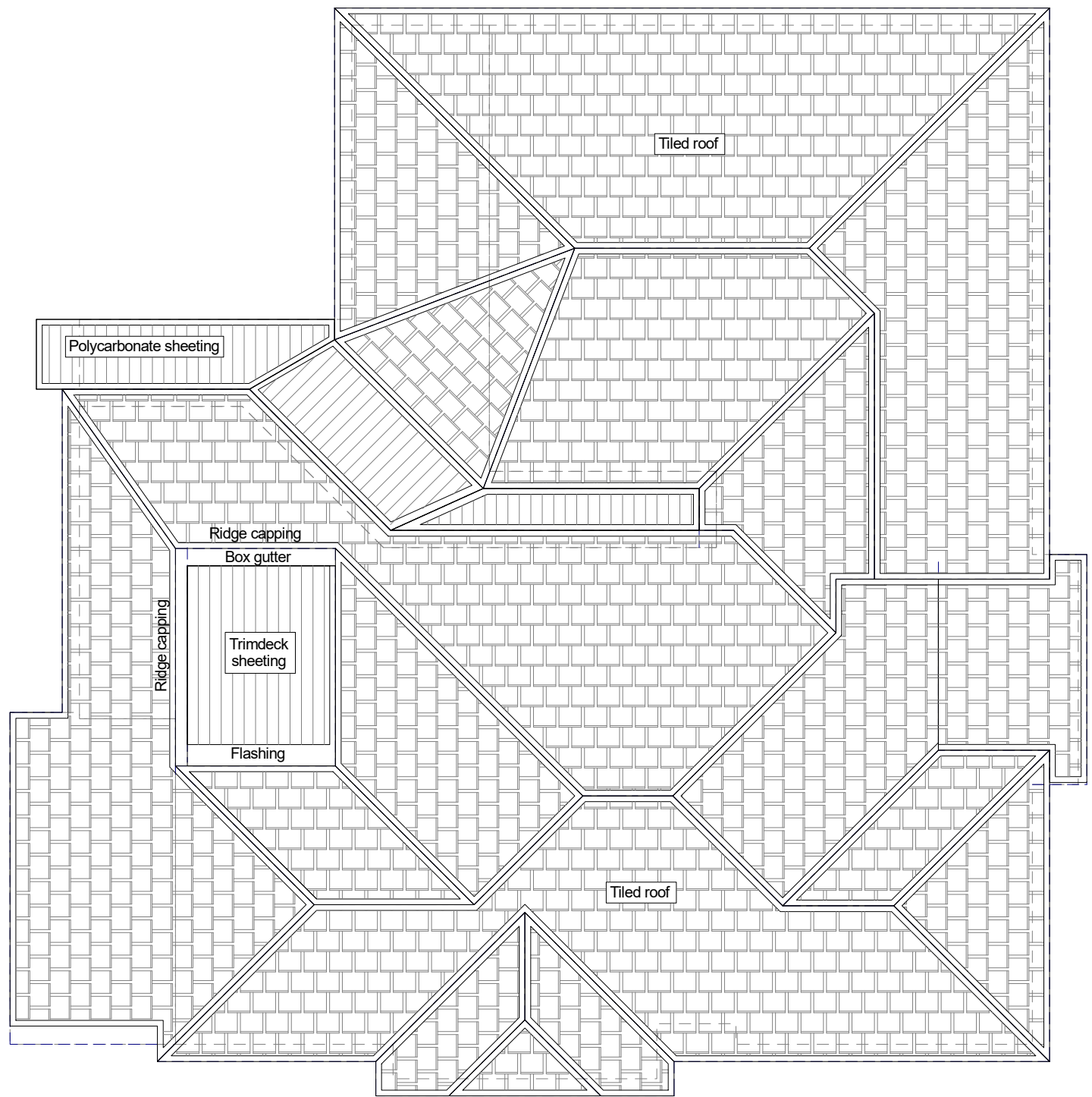
date: 13/2/2020
drawn: J.B.
scale: 1:100
series: 2 OF 10

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1	17/6/2020	ISSUED FOR CONTRACT	JB

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Existing Roof Plan

scale 1:100



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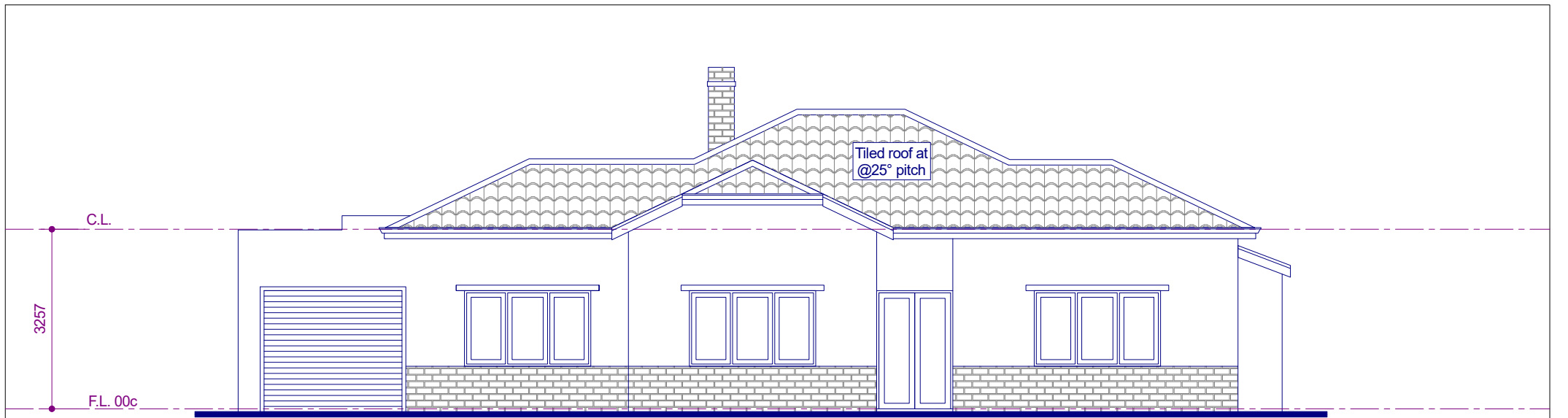
PROPOSED ADDITIONS FOR
CLARKE AND LEAH GILL
16 WINDSOR ROAD,
EAST FREMANTLE

date: 13/2/2020 drawn: J.B. scale: 1:100 series: 3 OF 10

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1	17/6/2020	ISSUED FOR CONTRACT	JB

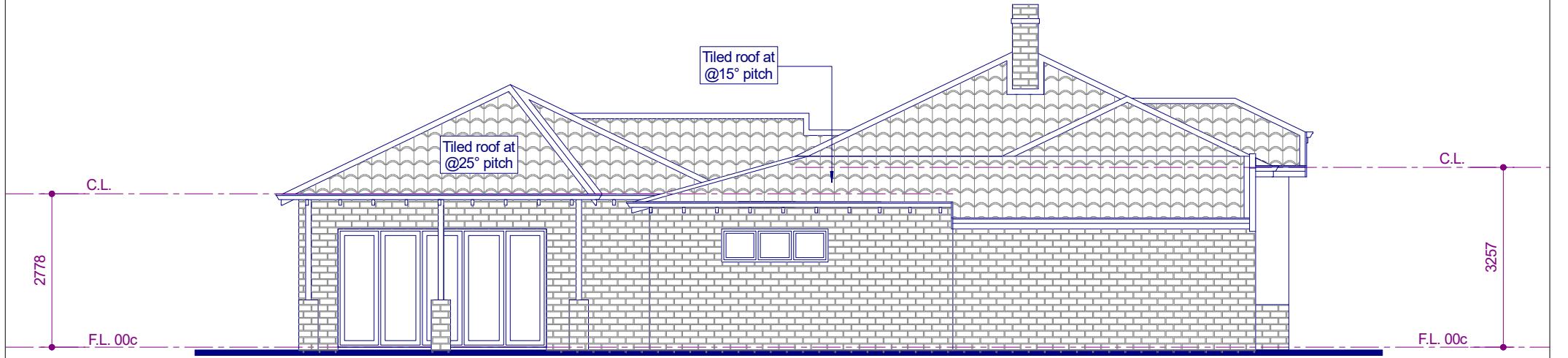
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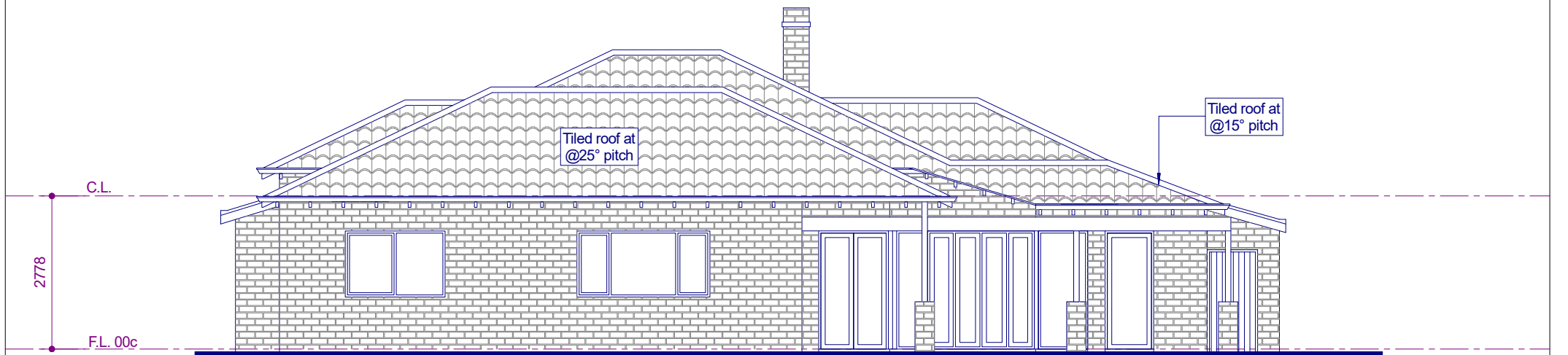
Existing Elevation 1

scale 1:100



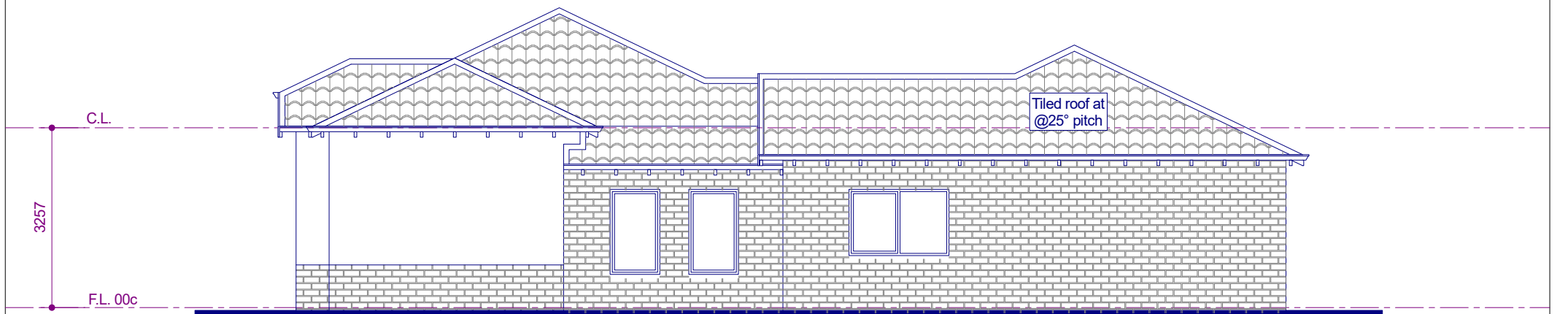
Existing Elevation 2

scale 1:100



Existing Elevation 3

scale 1:100



Existing Elevation 4

scale 1:100



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EAST FREMANTLE

date:
13/2/2020

drawn:
J.B.

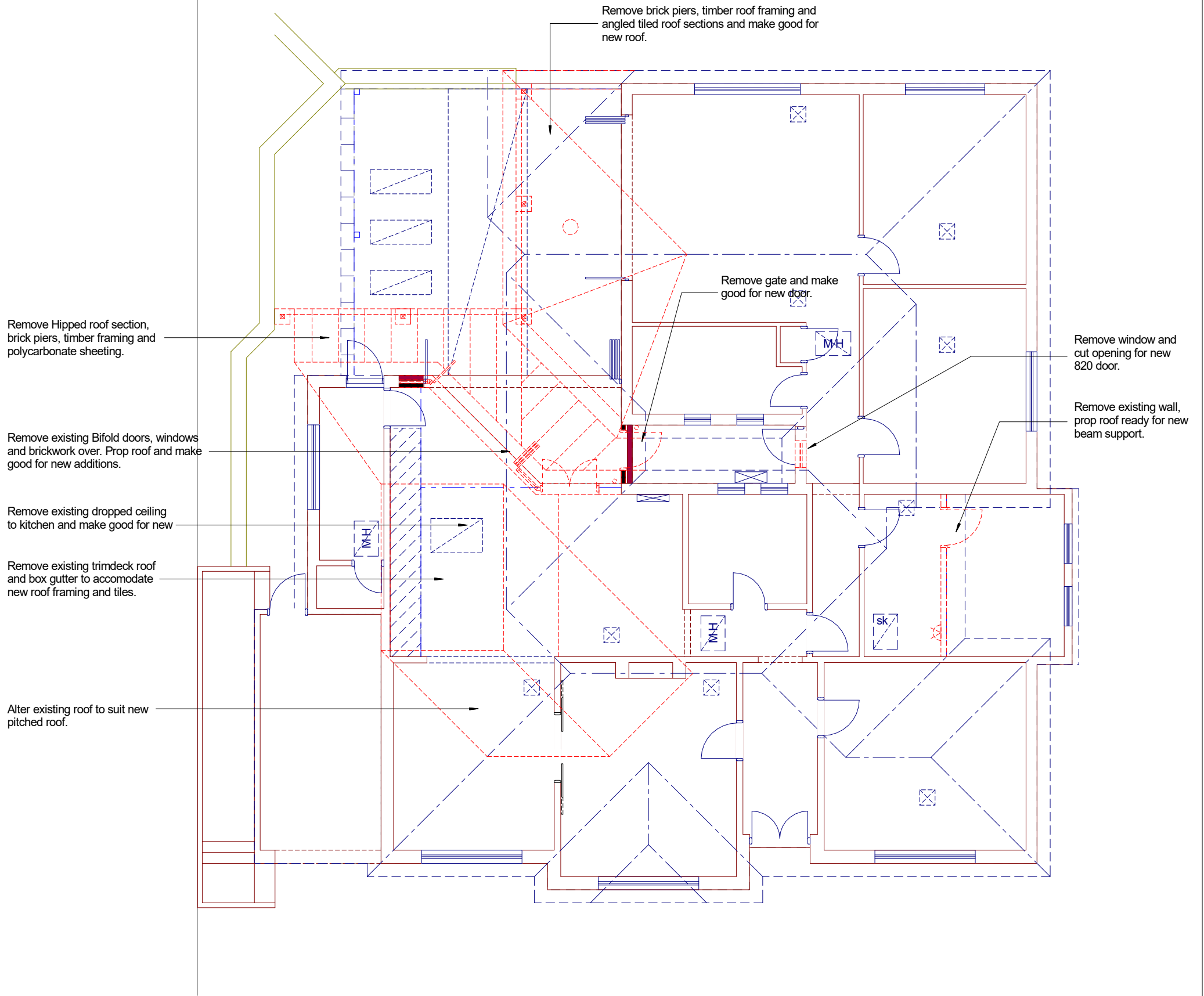
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Demolition Plan

scale 1:100



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PROPOSED ADDITIONS FOR
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16 WINDSOR ROAD,
EAST FREMANTLE

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drawn: J.B.
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series: 5 OF 10

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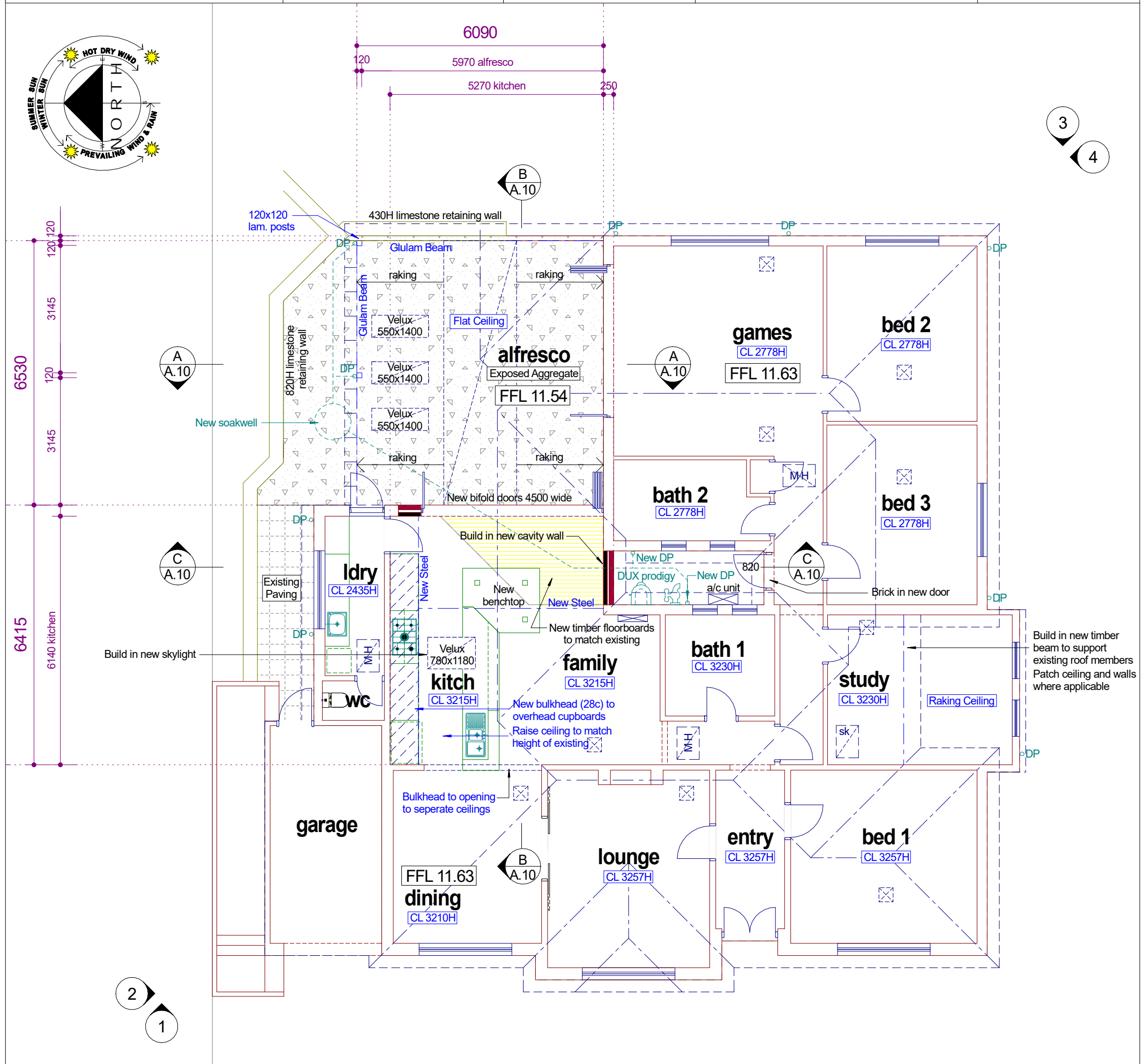
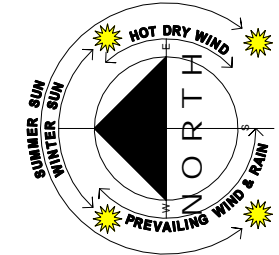
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SYMBOL LEGEND

	DENOTES EXISTING BRICKWORK		MANHOLE FOR ROOF ACCESS		DENOTES GARDEN TAP
	DENOTES NEW 90mm BRICKWORK		DENOTES SKYLIGHT		DENOTES GAS POINT
	DENOTES NEW 110mm FACEBRICK		DENOTES A/C VENT		DENOTES HOT WATER UNIT
	DENOTES NEW 90mm STUDWORK		DENOTES RETURN AIR VENT		DENOTES METERBOX
	DENOTES EXTENT OF NEW RENDER				

AREAS

HOUSE	230.96m ²
GARAGE	16.51m ²
ALFRESCO	39.76m ²
TOTAL AREA	287.23m²
PERIM	83.71m



DISCLAIMER
PLEASE NOTE THAT WHILE CARE WAS TAKEN IN PREPARING THIS SET OF PLANS AND ELEVATIONS, ANY CONSTRUCTION WORK, ALTERATIONS OR RENOVATIONS SHOULD BE RE-CHECKED BEFORE COMMENCING ANY WORK TO ENSURE ACCURACY. DISCREPANCIES SHOULD BE RESOLVED IMMEDIATELY.

BUILDING REQUIREMENTS NOTE
ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH THE LATEST NCC, LOCAL GOVERNMENT REQUIREMENTS AND THE AUSTRALIAN STANDARDS.

ENGINEER NOTE
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEERS DRAWINGS.

EXISTING SERVICES NOTE
BUILDER TO LOCATE, ISOLATE AND RE-ROUTE EXISTING SERVICES AS REQUIRED. ENSURE ALL WORK IS CARRIED OUT UNDER THE RELEVANT AUSTRALIAN STANDARDS AND INDUSTRY CODES.

ROOF PLUMBER NOTE
PLUMBER TO ENSURE ADEQUATE RWP ARE INSTALLED, RWP SHOWN ARE SUGGESTED ONLY. PIPE TO EXISTING SYSTEM WHERE POSSIBLE. SIZES AND LOCATION ARE SUGGESTED ONLY AND SHOULD BE VERIFIED BY PLUMBER ON SITE PRIOR TO PURCHASE AND INSTALLATION.

INSULATION NOTE
R4.0 CEILING INSULATION TO BE SUPPLIED AND INSTALLED TO NEW WORKS ONLY BY BUILDER IN ACCORDANCE WITH NCC.

Proposed Floor Plan

scale 1:100

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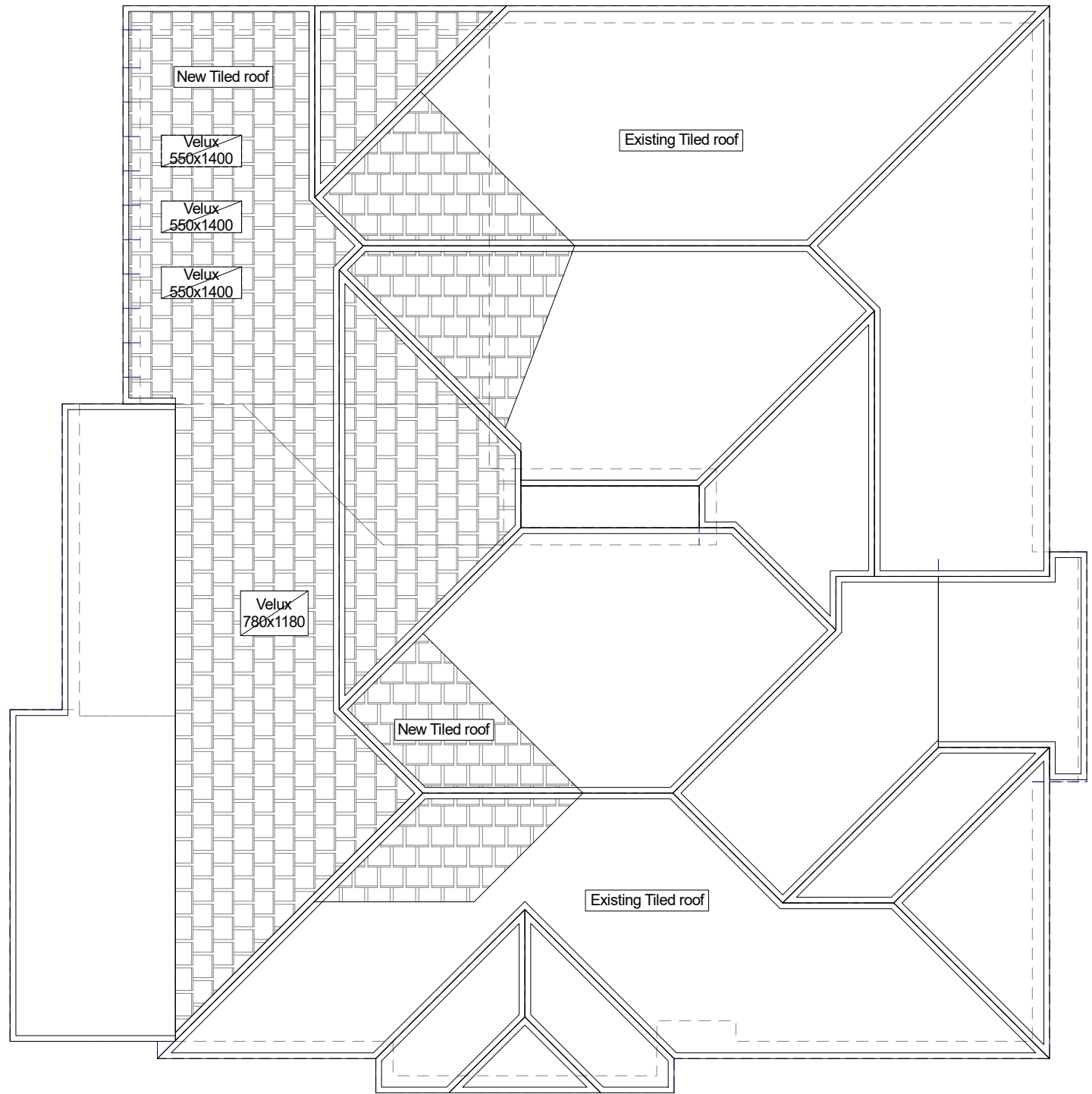
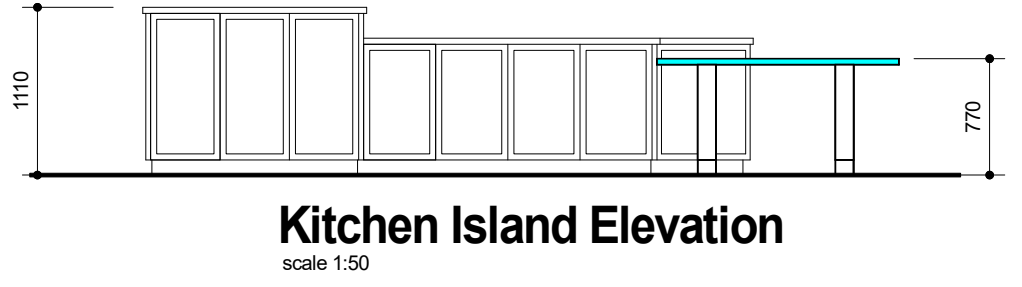
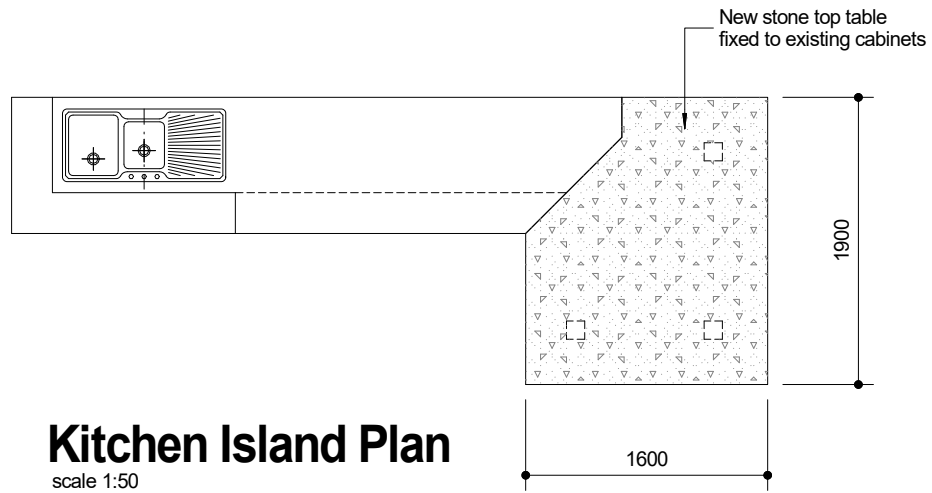
PROPOSED ADDITIONS FOR
CLARKE AND LEAH GILL
16 WINDSOR ROAD,
EAST FREMANTLE

date: 13/2/2020
drawn: J.B.
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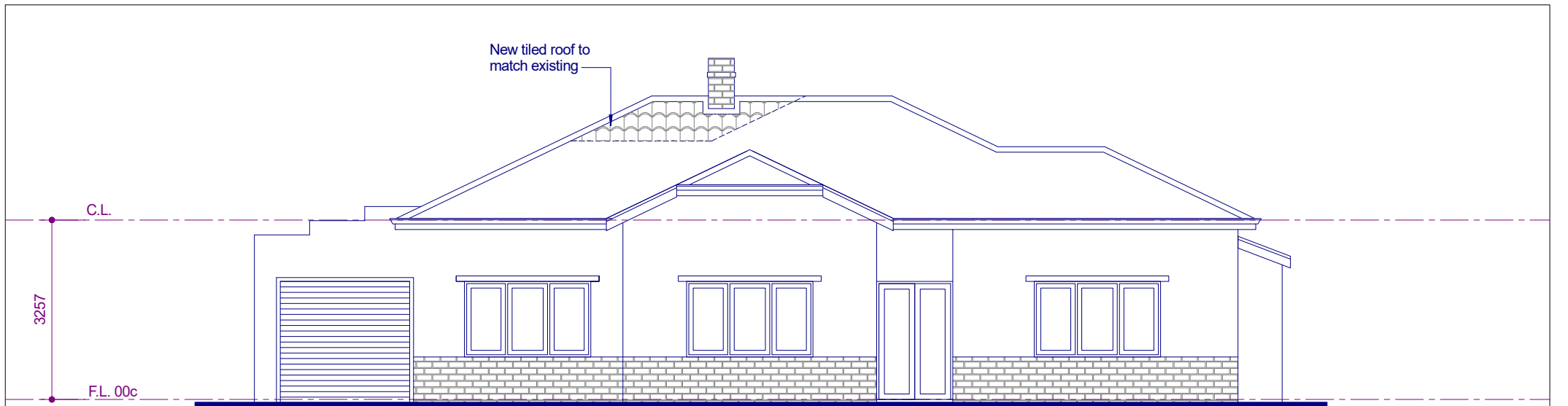
PROPOSED ADDITIONS FOR
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16 WINDSOR ROAD,
EAST FREMANTLE

date: 13/2/2020
drawn: J.B.
scale: 1:100
series: 7 OF 10

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1	17/6/2020	ISSUED FOR CONTRACT	JB

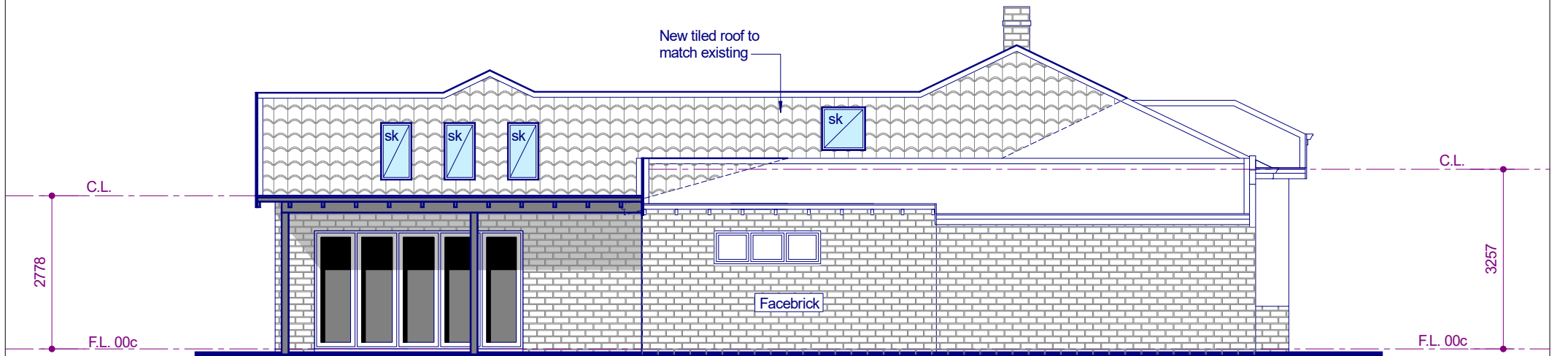
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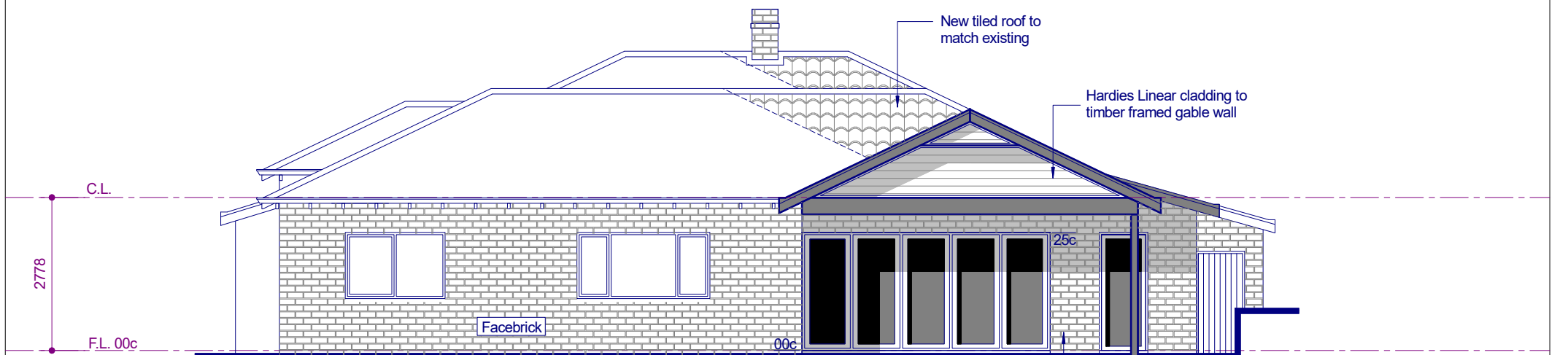
Proposed Elevation 1

scale 1:100



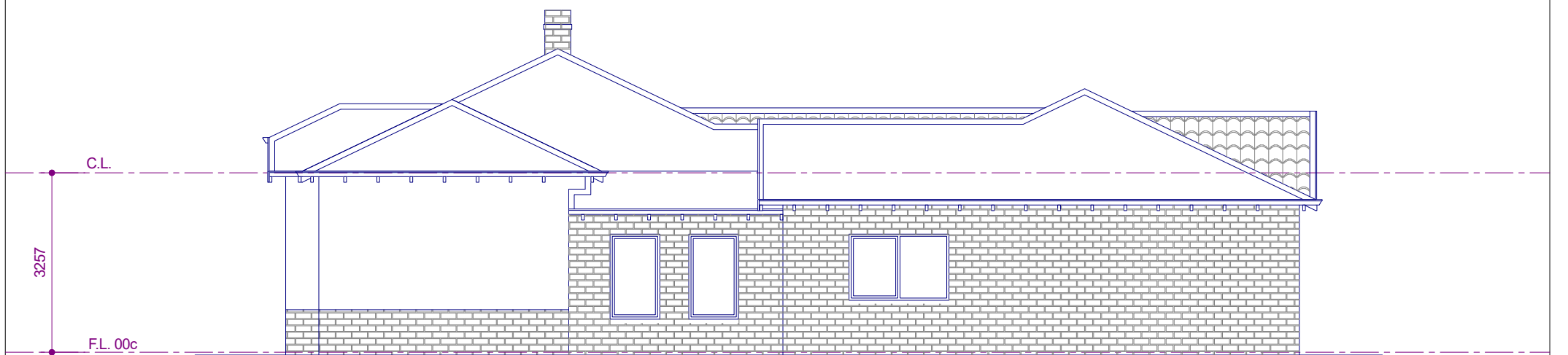
Proposed Elevation 2

scale 1:100



Proposed Elevation 3

scale 1:100



Proposed Elevation 4

scale 1:100



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PROPOSED ADDITIONS FOR
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16 WINDSOR ROAD,
EAST FREMANTLE

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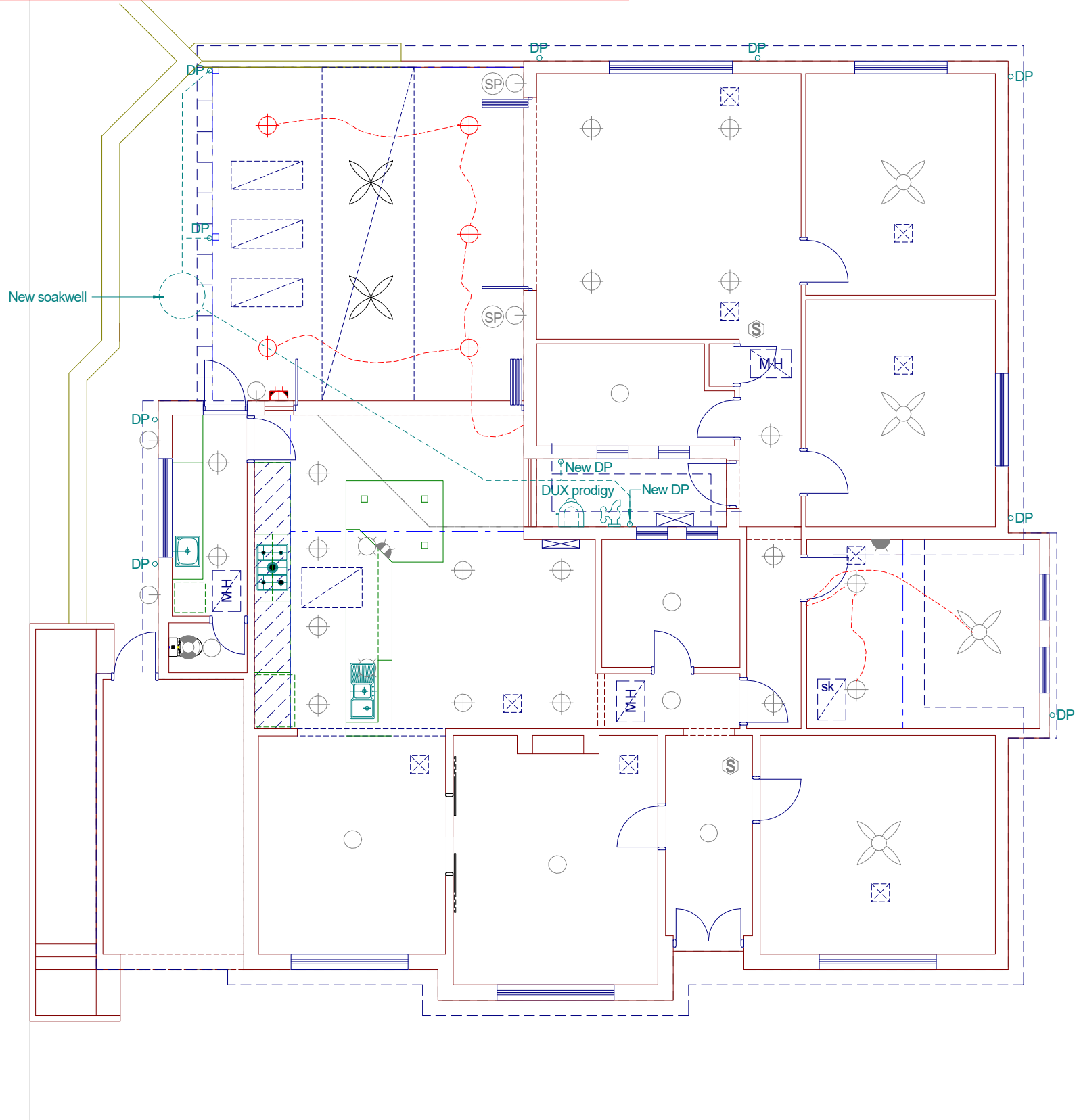
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ELECTRICAL LEGEND

○ LIGHT BAYONET POINT 240v	▬ TWIN 40w FLUORESCENT	☒ waterproof GPO nominated	☒ DOUBLE ☒ QUAD
⊕ LED FIXED DOWNLIGHT 240v	▬ LED BATTEN 1200mm	☎ PHONE POINT NOMINATED HEIGHT AFL	
● LED DOWNLIGHT IN CONCRETE	✂ CEILING FAN	⊕ TV POINT 300 AFL (ONLY IN SEPARATE CONDUIT IF NOTED)	
○ FEATURE PENDANT LIGHT	✂ CEILING FAN / LIGHT	✱ FOXTEL TV POINT 300 AFL	
○ WALL LIGHT 23c A.F.L. 240v	Ⓢ HARDWIRED SMOKE DETECTOR	☒ FUSE BOX	
☒ EXTERIOR LED TWIN SPOTLIGHT 240v	★ LOW VOLTAGE STARLIGHT	☒ COMBINED/ELECTRIC METERBOX	
Ⓢ LOW VOLTAGE DOWNLIGHT	☒ GPO @ 300 AFL ☒ DOUBLE ☒ QUAD	☒ 2200AFL ALARM MAIN BOARD	
☒ SENSOR	☒ GPO @ 1050 AFL ☒ DOUBLE ☒ QUAD	☒ ALARM CONTROL PANEL	
☒ EXHAUST FAN , HEATER , LIGHT	☒ GPO @ 1550 AFL ☒ DOUBLE ☒ QUAD	☎ PHONE POINT NOM HT AFL FOR 24 HR MONITOR SYSTEM	
☒ SQUARE CEILING EXHAUST FAN	☒ GPO nominated ☒ DOUBLE ☒ QUAD	☒ DOUBLE POLE ISOLATION SWITCH @ 650 AFL	
● BATHROOM HEAT LAMP	☒ GPO ceiling mount ☒ DOUBLE ☒ QUAD	☒ DATA DATA POINT	

ELECTRICIAN/CLIENT NOTE

- NOTE ALL POSITIONS OF POWER POINTS ON PLAN ARE APPROXIMATE ONLY, UNLESS POWER POINTS ARE DIMENSIONED.
- P.P. CENTRELINE ABOVE VANITIES TO BE 950H APPROX UON.
- P.P. CENTRELINE ABOVE KITCHEN BENCH TO BE 1020H APPROX UON.
- P.P. FOR HOT PLATES TO BE 700 ABOVE FLOOR LEVEL IF APPLICABLE.
- P.P. FOR DISHWASHERS TO BE 600 ABOVE FLOOR LEVEL IF APPLICABLE.
- P.P. FOR RANGEHOODS TO BE 800 ABOVE BENCH , AND 150 OFF CENTERLINE OF RANGEHOOD IF APPLICABLE.



ELECTRICAL NOTES

EXHAUST FAN
Exhaust fan positions are approximate. They are to be fitted to suit ceiling joists and other roofing members.

POWER SUPPLY
UNDERGROUND ☒
OVERHEAD ☐

Electrical Plan

SCALE 1:100



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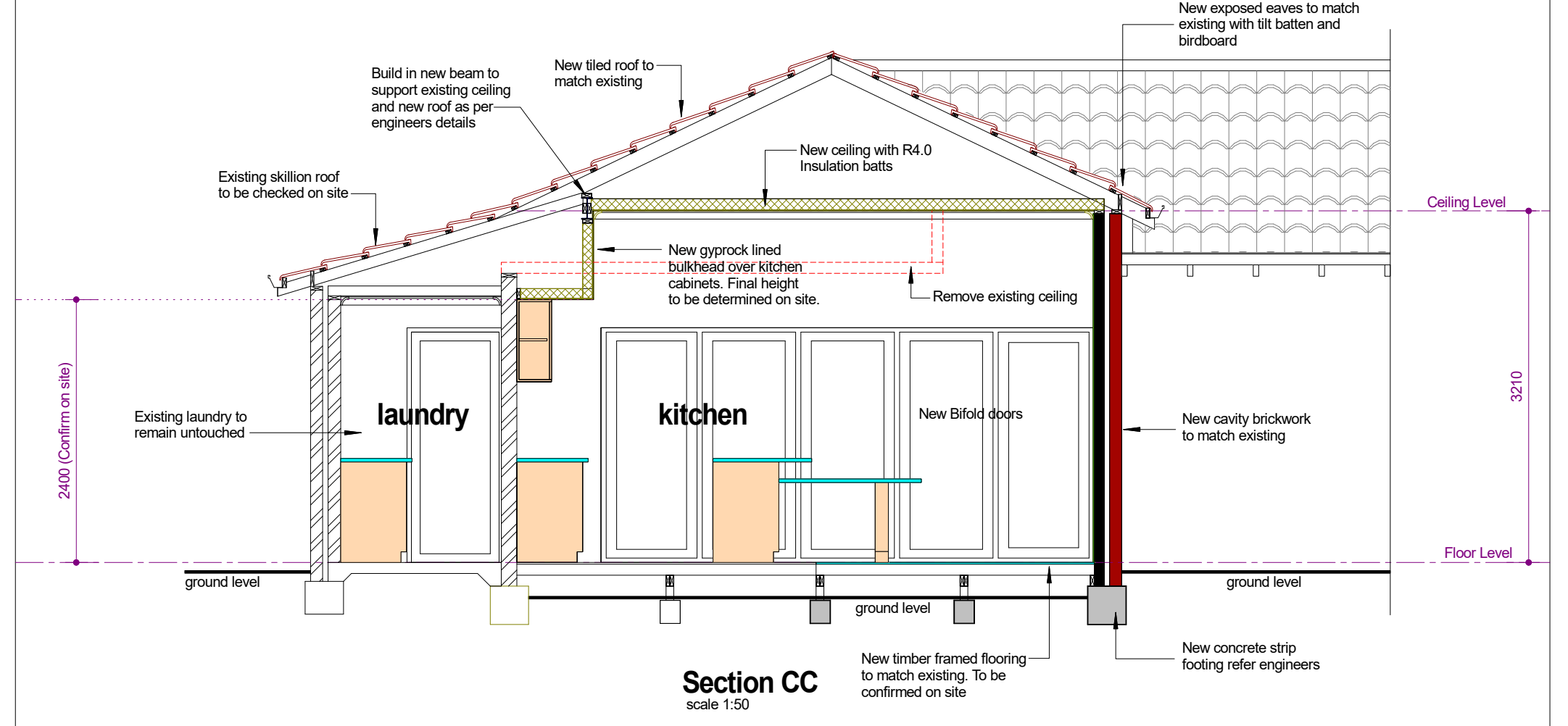
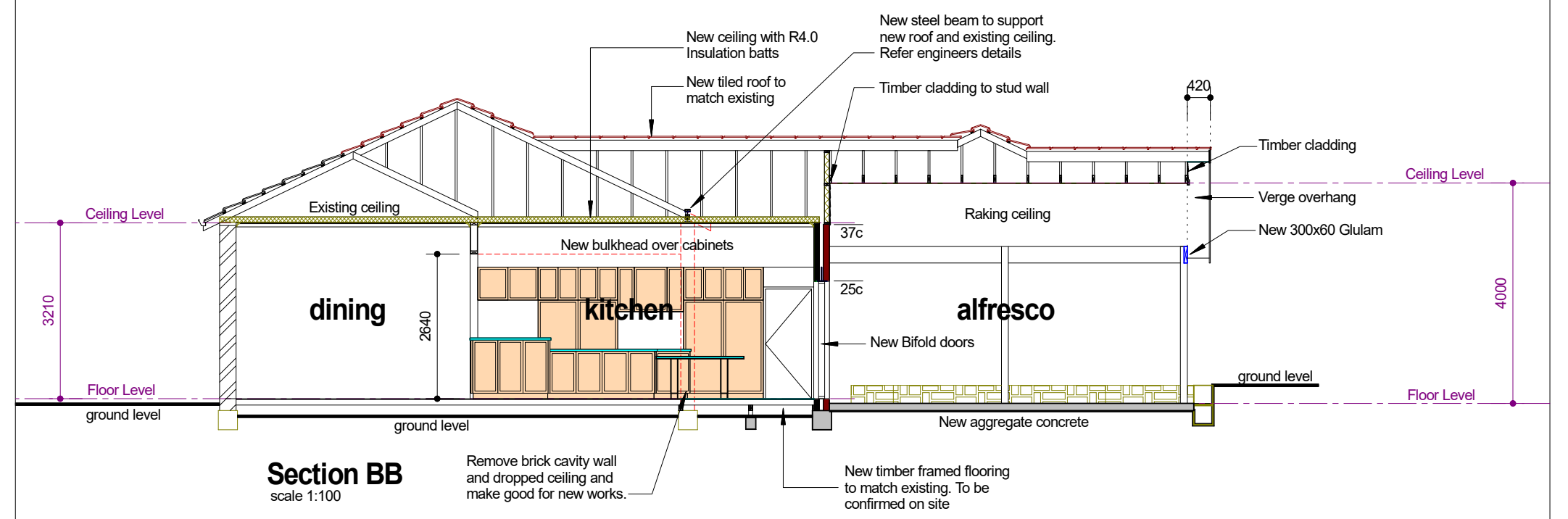
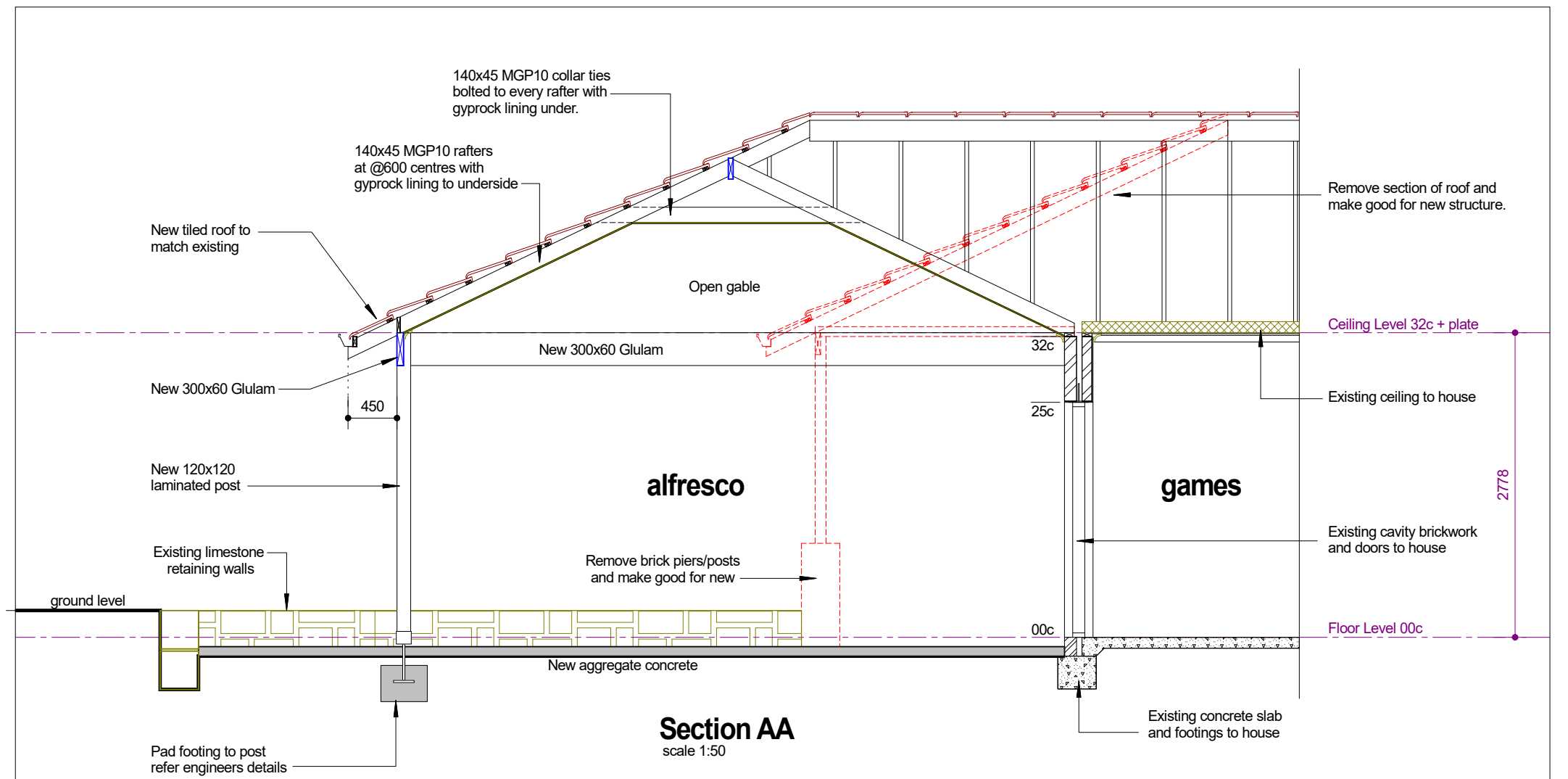
PROPOSED ADDITIONS FOR
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16 WINDSOR ROAD,
EAST FREMANTLE

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PROPOSED ADDITIONS FOR
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EAST FREMANTLE

date: 13/2/2020

drawn: J.B.

scale: AS SHOWN

series: 10 OF 10

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